





## Demo & Floor Plan

- 3-26 SAWCUT AND REMOVE EXISTING CONCRETE SLAB AS REQUIRED TO INSTALL RECESSED ENTRY DOOR MAT
- 3-87 REMOVE 4'-0" LONG SECTION OF EXISTING RAMP AS INDICATED TO PROVIDE ROOM FOR NEW CONCRETE SLAB OVER COMPACTED FILL
- 3-88 EXISTING CONCRETE RAMP AND STEPS TO REMAIN.
- 4-74 EXISTING MASONRY VENEER TO BE REMOVED
- 5-03 NEW WIDE FLANGE STEEL COLUMN (SEE FRAMING PLAN)
- 5-17 REMOVE EXISTING HANDRAIL. PATCH CONCRETE TO MATCH EXISTING
- 5-31 NEW WIDE FLANGE STEEL BEAM (SEE FRAMING PLAN)
- 6-01 EXISTING WORK TO REMAIN
- 6-04 EXISTING WORK TO BE REMOVED. PROVIDE ADEQUATE TEMPORARY SUPPORT OF EXISTING STRUCTURE AT ALL TIMES.
- 6-23 2 x 4 STUD FRAMING AT 16" O/C. PROVIDE CONTINUOUS SILL PLATE NAILING WITH (1) 16d AT 16" O/C
- 6-136 ADJUST DIMENSIONS AS REQUIRED TO ALIGN FACE OF NEW WALL WITH FACE OF EXISTING WALL TO REMAIN
- 6-224 4 x 4 DOUG FIR #2 OR BETTER POST WITH "SIMPSON EPC44"
- 8-09 PROVIDE APPROVED METAL GUIDE RAILS FOR AUTOMATIC DOOR PER A.D.A. REQUIREMENTS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO CITY FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION.
- 8-11 STOREFRONT ALUMINUM FRAMING WITH GLAZING AS INDICATED ON WINDOW SCHEDULE
- 8-12 REMOVE EXISTING WALL AS REQUIRED TO INSTALL NEW DOOR AND FRAME AS SHOWN. PATCH TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES
- 8-17 CASED OPENING WITH "TIMELY" METAL FRAME
- 8-21 EXISTING WINDOW TO BE REMOVED. FILL OPENING WITH 2 x 4 FRAMING AT 16" O/C AND FINISH TO MATCH ADJACENT MATERIALS, COLORS AND TEXTURES
- 8-24 EXISTING DOOR TO BE REMOVED. PATCH OPENING TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES
- 8-25 EXISTING GLASS DOORS, FRAME AND HARDWARE TO BE RELOCATED AS INDICATED
- 8-30 EXISTING DOOR TO BE REMOVED
- 8-31 EXISTING GLASS TO BE REMOVED. ROOF WORK SHALL BE COMPLETED PRIOR TO REMOVAL OF EXISTING WINDOWS.
- 9-23 PASS-THROUGH OPENING WITH GYPSUM BOARD WRAP
- 9-27 DRYWALL OPENING (SEE SECTION)
- 9-31 PATCH WALL TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES
- 9-39 PROVIDE 1 x 2 FURRING STRIPS AT 16" O/C WITH ONE LAYER 5/8" TYPE "X" GYPSUM BOARD (TAPE, PUTTY AND PAINT)
- 9-53 BUILT-IN LAMINATED PLASTIC COUNTERTOP (SEE DETAIL)
- 10-91 EXISTING FIRE EXTINGUISHER CABINET TO REMAIN
- 12-22 BASE CABINET WITH LAMINATED PLASTIC TOP
- 12-40 EXISTING COUNTER TO BE REMOVED
- 12-41 EXISTING COUNTER TO BE RELOCATED AS INDICATED
- 16-64 EXISTING WOOD-FRAMED POWER DROP TO REMAIN
- 16-65 EXISTING WOOD-FRAMED POWER DROP TO BE REMOVED
- 16-96 EXISTING ELECTRICAL SERVICE DISTRIBUTION PANEL

## DOOR SCHEDULE

DOOR	WIDTH	HGT	THICK	MATERIAL	FINISH	FRAME	CLOSER	REMARKS
101	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	SURFACE 1, 2, 3
102	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	SURFACE 1, 2, 3
103	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	PASSAGE	SURFACE 1, 2, 3
104	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	SURFACE 1, 2, 3
105	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	SURFACE 1, 2, 3
106	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	SURFACE 1, 2, 3
107	PR 3'-0"	6'-8"	1-3/4"	EXISTING DOOR AND FRAME	RELOCATED		AUTOMATIC	4
108	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	1, 2, 3
109	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	1, 2, 3
110	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	SURFACE 1, 2, 3
111	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	SURFACE 1, 2, 3, 6
112	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	LOCK	SURFACE 1, 2, 3, 6
113	PR 3'-0"	6'-8"	1-3/4"	EXISTING DOOR AND FRAME	RELOCATED			5, 2
114	3'-0"	6'-8"	1-3/4"	SC WOOD	INT	P.S./P.F.	PASSAGE	SURFACE 1, 2, 3

ABBREVIATIONS:  
INT INTEGRAL  
S.C. SOLID CORE  
P.S. PRESSED STEEL  
P.F. PREFINISHED

## REMARKS LEGEND

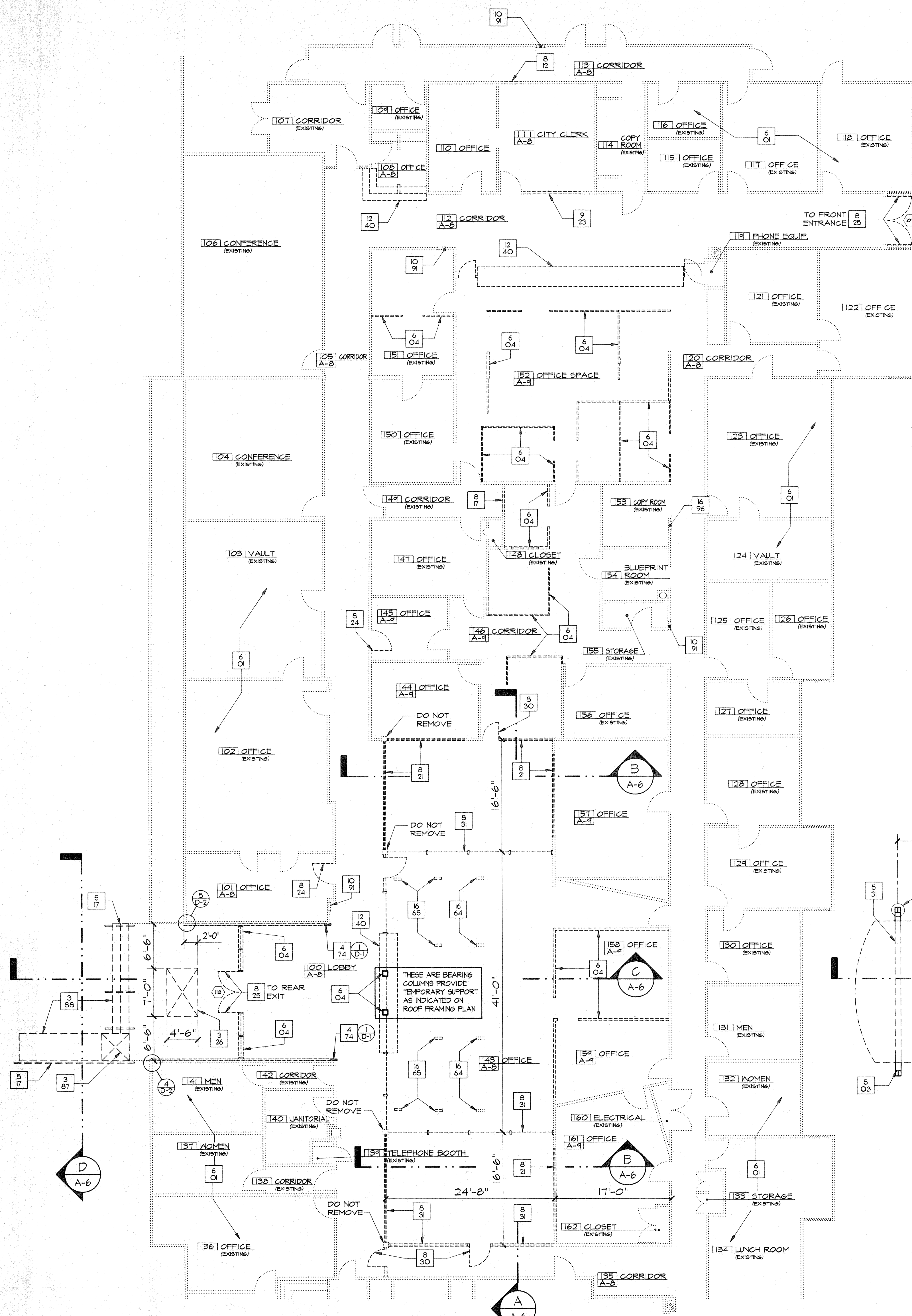
- NEW FLUSH DOOR WITH TIMELY JAMB, 1-1/2" PAIR OF 4" BUTT HINGES (SATIN CHROMIUM PLATED, #26).
- DOOR HARDWARE SHALL BE OF THE LEVER OR PUSH TYPE, MOUNTED 30" TO 44" ABOVE THE FLOOR, AND BE OPERABLE WITH A MAXIMUM EFFORT OF 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
- ALL DOOR HARDWARE TO BE ADA APPROVED. DOOR LOCKSETS TO BE "SCHLAGE - AL SERIES" SATURN LEVER STYLE, #626" OR EQUAL WITH "CORRIDOR LOCK" UNLESS OTHERWISE NOTED.
- EXISTING REAR AUTOMATIC GLASS DOORS TO BE RELOCATED TO THE FRONT ENTRANCE.
- EXISTING FRONT GLASS DOORS TO BE RELOCATED TO THE REAR EXT.
- 20 MIN. LABELED DOOR & FRAME WITH SMOKE SEALS ON SIDES AND TOP.

Proposed Remodel for:  
**Fontana City Hall**  
8353 Sierra Avenue, Fontana, CA 92335

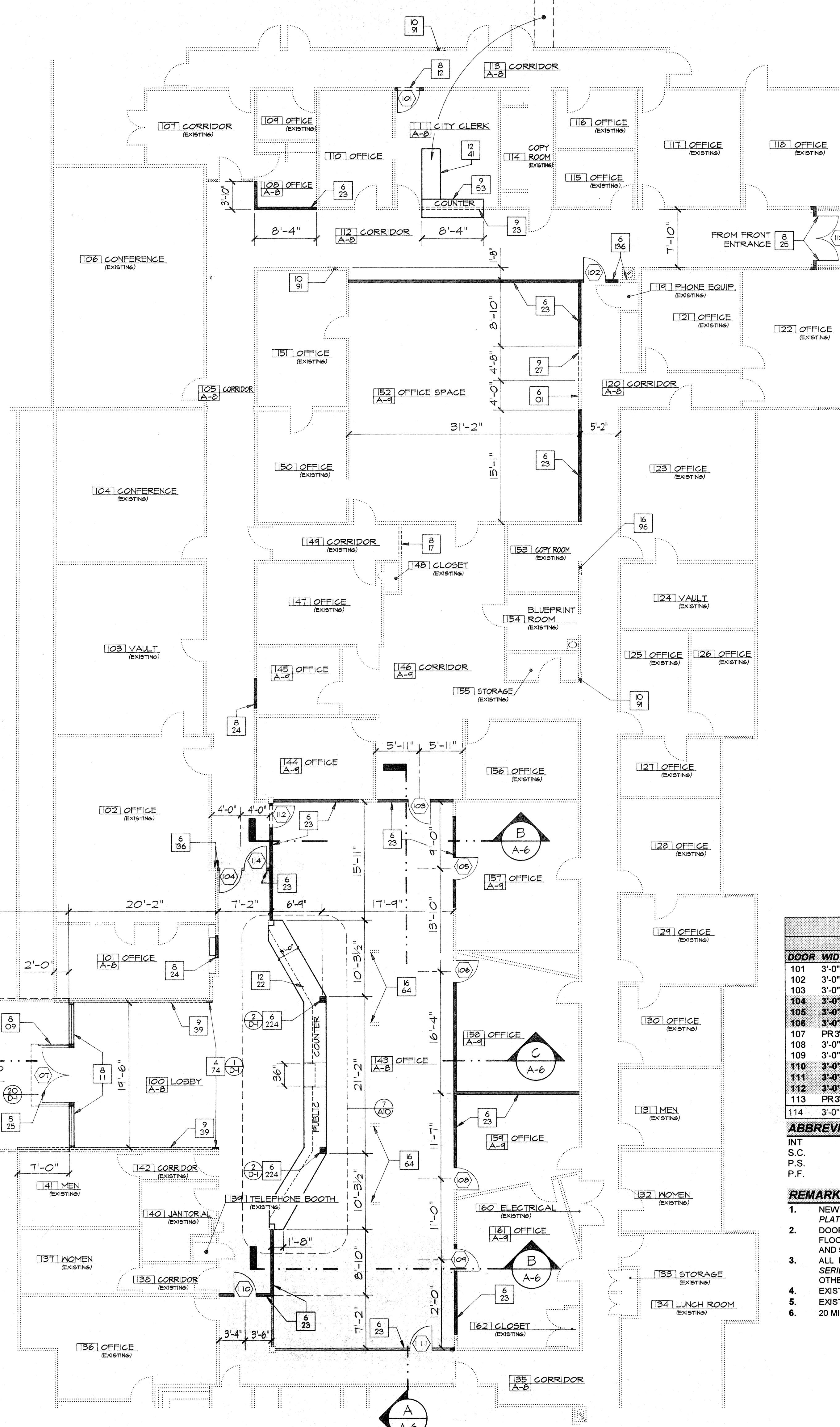
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PROJECT 96-164

Demo & Floor Plans

A-2



DEMO FLOOR PLAN  
1/8"=1'-0"



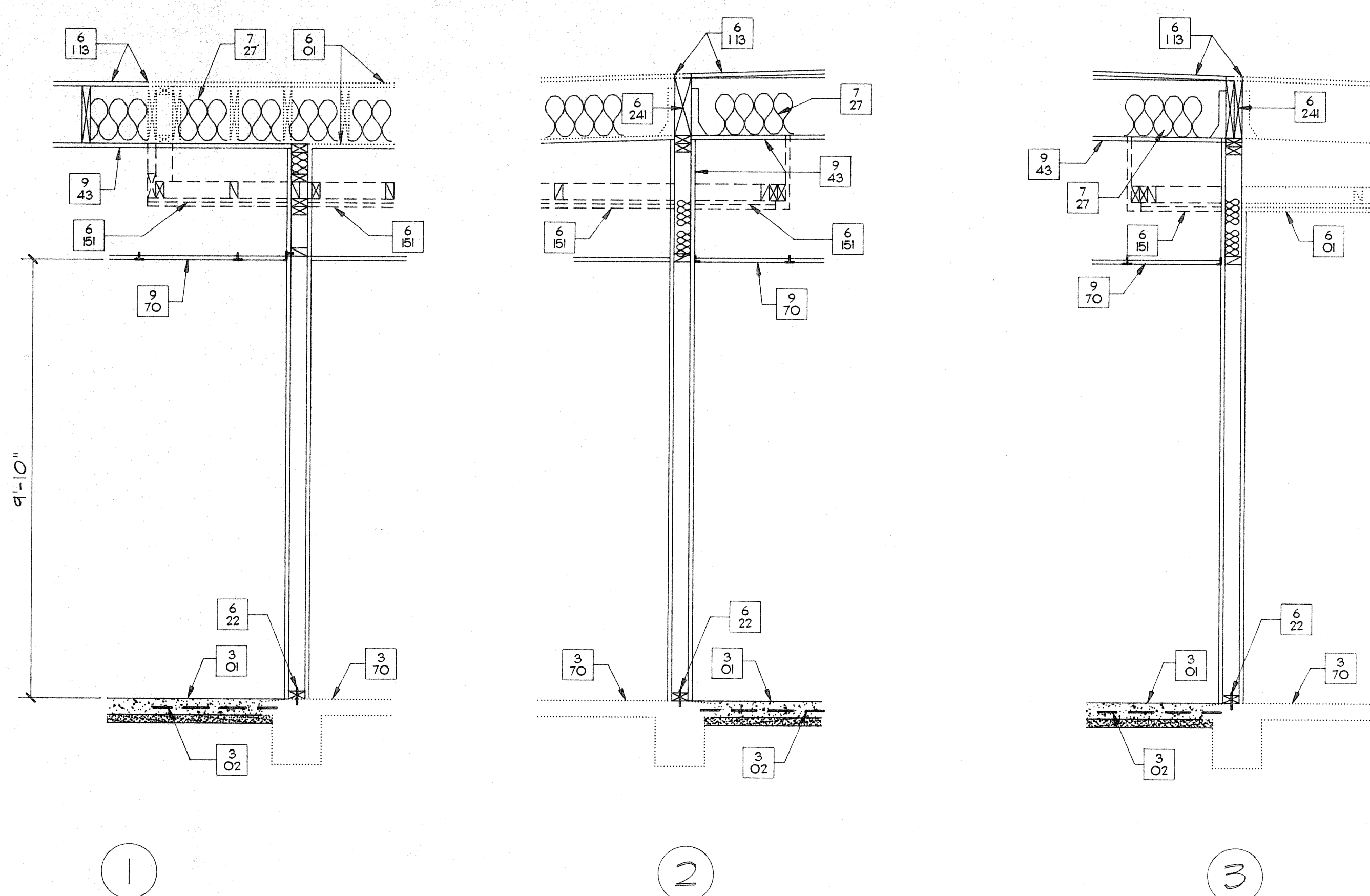
FLOOR PLAN  
1/8"=1'-0"

UNTIL ROOF WORK IS IN PLACE, ACCESS TO THE ATRIUM AREAS SHALL BE LIMITED TO REMOVAL OF ONE PANE OF GLASS WHICH SHALL BE REPLACED WITH A PLYWOOD DOOR ACCEPTABLE TO OWNER'S REPRESENTATIVE, AND WHICH SHALL REMAIN CLOSED TO PREVENT DUST, NOISE AND MOISTURE FROM ENTERING THE BUILDING.

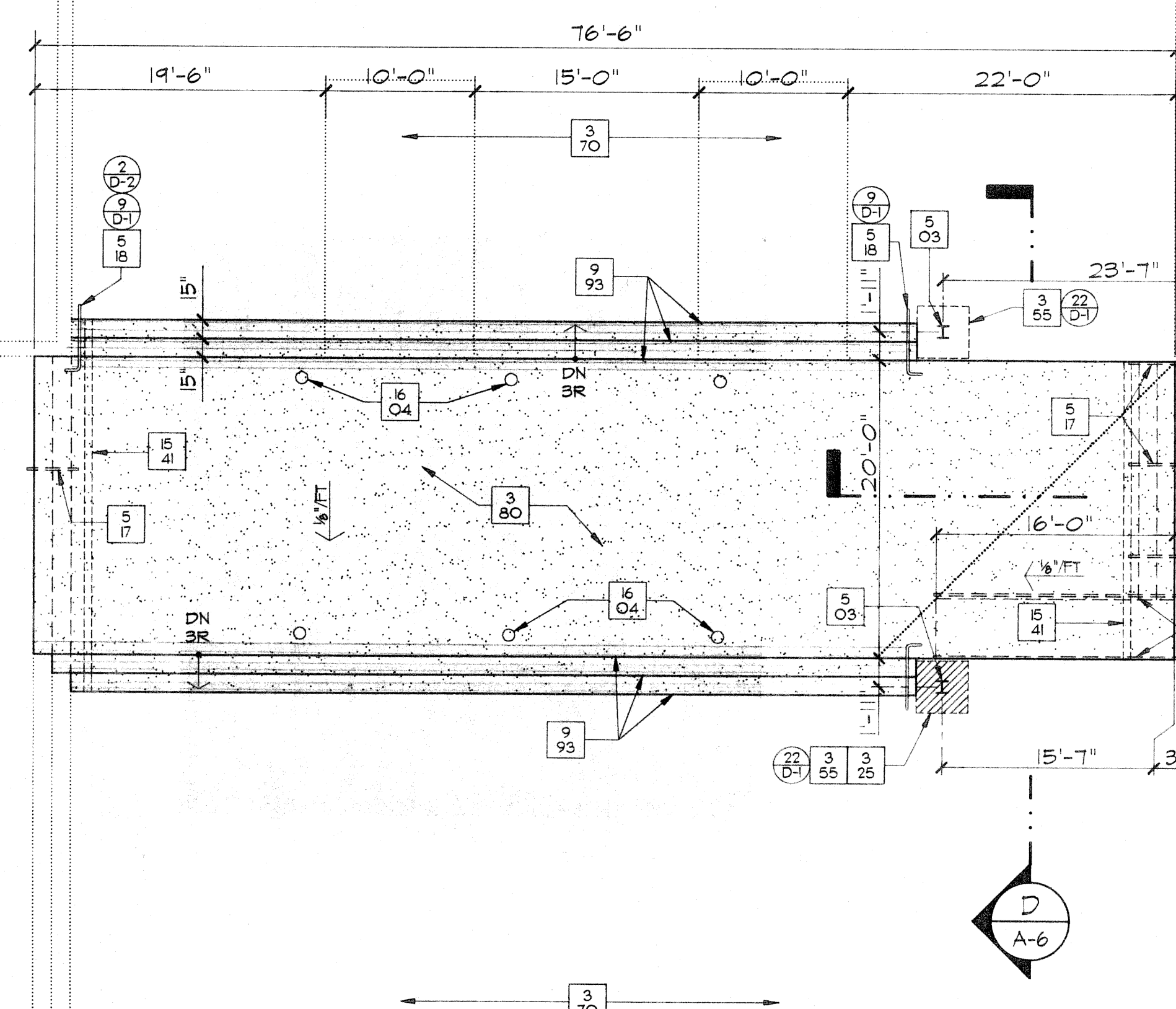


# Foundation Plan

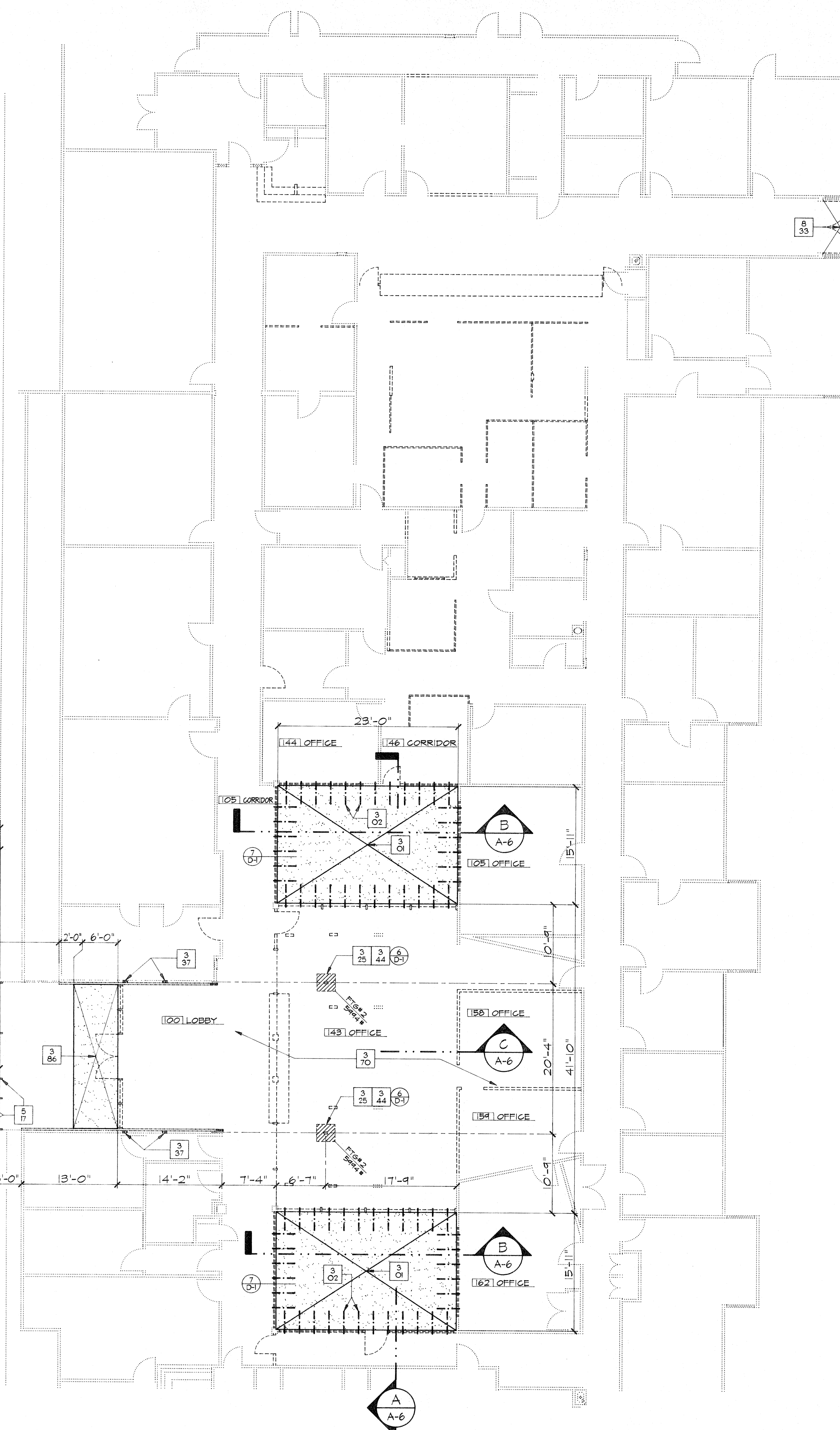
- 3-01 4" MINIMUM THICK CONCRETE SLAB (2,500 PSI MIX) ON 2" SAND OVER 10 MIL "VISQUEEN" VAPOR BARRIER WITH 6" x 6" x #10 x #10 WELDED WIRE MESH IN CENTER OF SLAB.
- 3-02 DRILL 5/8" DIAMETER HOLES AT 24" O/C AND EPOXY-TIE NEW SLAB TO EXISTING FOOTING WITH 24" LONG #4 BARS AT 24" O/C WITH 6" MINIMUM EMBEDMENT.
- 3-25 SAWCUT AND REMOVE EXISTING CONCRETE SLAB AS REQUIRED TO INSTALL NEW CONCRETE PIER FOOTING AS SHOWN.
- 3-37 EXISTING FOOTING TO RECEIVE NEW SHEAR WALL #3. PROVIDE "SIMPSON HD5A" HOLD-DOWN WITH 5/8" DIAMETER THREADED ROD AT EACH END (5" MINIMUM EMBEDMENT DEPTH) AND WITH 1/2" DIAMETER "HILTI KWIK-BOLT II" STUD ANCHORS (2-3/4" MINIMUM EMBEDMENT) AT 12" O/C IN BETWEEN.
- 3-44 2'-6" SQUARE x 12" DEEP CONCRETE PAD FOOTING WITH (4) #4 BARS EACH WAY.
- 3-55 3'-6" SQUARE x 5'-8" DEEP CONCRETE PIER FOOTING WITH (6) #5 BARS VERTICAL AND #3 TIES AT 6" O/C HORIZONTAL.
- 3-70 EXISTING CONCRETE SLAB AND FOUNDATION TO REMAIN.
- 3-80 POUR NEW 4" MINIMUM THICK CONCRETE SLAB (2,500 PSI MIX WITH 6" x 6" x #10 WELDED WIRE MESH IN CENTER OF SLAB WITH MEDIUM BROOM FINISH) OVER EXISTING SLAB TO REMAIN.
- 3-86 EXISTING SLOPING SLAB TO RECEIVE NEW SMOOTH TROWELABLE FEATHER EDGING MORTAR OVER TO PROVIDE LEVEL SUBSTRATE FOR NEW FINISH FLOORING.
- 3-87 REMOVE 4'-0" LONG SECTION OF EXISTING RAMP AS INDICATED TO PROVIDE ROOM FOR NEW CONCRETE SLAB OVER COMPACTED FILL.
- 5-03 NEW WIDE FLANGE STEEL COLUMN (SEE FRAMING PLAN).
- 5-17 REMOVE EXISTING HANDRAIL. PATCH CONCRETE TO MATCH EXISTING.
- 5-18 NEW 1 1/2" OUTSIDE DIAMETER - MAXIMUM GALVANIZED PIPE HANDRAIL (34" - 38" ABOVE NOSING).
- 6-01 EXISTING WORK TO REMAIN.
- 6-22 2x PRESSURE TREATED SILL PLATE (WOLMANIZED) WITH "HILTI DN22P8" (OR EQUAL) SHOT PINS (2-7/8" LONG, 1 C.B.O. REPORT NO. 1290) AT 48" O/C AND 12" FROM CORNERS AND BREAKS IN SILL AT INTERIOR WALLS AND 12" DIAMETER ANCHOR BOLTS AT 48" O/C AND 12" FROM CORNERS AND BREAKS IN SILL AT EXTERIOR WALLS.
- 6-113 1932 APA RATED OSB ROOF SHEATHING (1 C.B.O. REPORT NO. NER 322) 32/16 SPAN RATING LAY PERPENDICULAR WITH RAFTERS AND NAIL WITH 8d NAILS AT 6" O/C EDGES AND BOUNDARY AND 12" O/C IN FIELD.
- 6-151 EXISTING 2 x 4 SUSPENDED CEILING FRAMING TO BE REMOVED.
- 6-241 BEAM (SEE FRAMING PLAN).
- 7-27 R-30 FIBERGLASS BATT INSULATION.
- 8-33 EXISTING RECESSED DOOR MAT TO REMAIN.
- 9-43 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ENTIRE ATTIC FOR ONE-HOUR CONSTRUCTION.
- 9-70 NEW 2 x 4 SUSPENDED METAL T-BAR CEILING SYSTEM WITH LAY-IN ACOUSTICAL PANELS.
- 9-93 2" WIDE STRIP OF HIGH TRAFFIC, SLIP-RESISTANT PAINT NOT MORE THAN 1" FROM STEP NOSING (YELLOW IN COLOR).
- 15-41 6" DIAMETER SCHEDULE 40 PVC DRAIN PIPE. REMOVE EXISTING CONCRETE AS REQUIRED TO INSTALL AND PROVIDE 1/8" PER FOOT MINIMUM SLOPE FROM NORTH TO SOUTH.
- 16-04 PROVIDE RECESSED 20 AMP, 110V SINGLE RECEPTACLE IN BRASS ENCLOSURE FLUSH WITH CONCRETE WITH GFCI PROTECTION ("HUBBELL" MODEL 5236, OR EQUAL).



WALL SECTIONS  
1/2" = 1'-0"



FOUNDATION PLAN  
1/8" = 1'-0"



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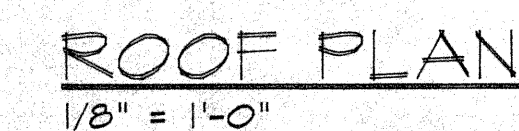
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Foundation Plans

A-3



- 6-01 EXISTING WORK TO REMAIN
- 6-15 LINE OF FLOOR BELOW
- 6-27 4 X 8 DOUG FIR #2 OR BETTER HEADER WITH (2) 2 X 4 TRIMMERS EACH END
- 6-113 2X12 RAFTER NAIL OSB ROOF SHEATHING (I.C.B. REPORT NO. **NER 3221** 3216 SPAN RATING LAY PERPENDICULAR WITH RAFTERS AND NAIL WITH 8d NAILS AT 6" OC EDGES AND BOUNDARY AND 12" OC IN FIELD.
- 6-132 1 1/2" WIDE X 12" HIGH COVERED GABLE END VENT WITH 1/4" GALVANIZED MESH SCREEN
- 6-151 EXISTING 2 X 4 SUSPENDED CEILING FRAMING TO BE REMOVED
- 6-190 2 X 14 DOUG FIR OR BETTER ROOF JOISTS AT 16" OC (15d MAXIMUM SPAN PER UBC TABLE 23-A-1.6) (23-A-1.6-9)
- 6-192 2 X 14 DOUG FIR #2 OR BETTER SOFFIT FRAMING AT 16" OC (10d-3" MAXIMUM SPAN PER UBC TABLE 23-A-1.3, PROVIDE 2 X 4 HANGER SUPPORTS WITH (3) 18d NAILS TOP AND BOTTOM WHERE SPAN EXCEEDS 10' REMAIN
- 6-203 EXISTING ROOF RAFTERS TO REMAIN
- 7-05 NEW 4-PLY HOT-MOPPED ROOF WITH MINERAL CAP SHEET AND 20-YEAR BONDED WARRANTY
- 7-46 GALVANIZED SHEET METAL RAIN GUTTER TO MATCH EXISTING GUTTER PROFILE AND PAINTED TO MATCH EXISTING COLOR
- 7-70 EXISTING ROOFING TO REMAIN
- 7-72 ALIGN NEW ROOF RIDGE WITH EXISTING RIDGE
- 15-97 EXISTING ROOF-MOUNTED AIR CONDITIONING UNIT TO REMAIN.
- 16-91 EXISTING ELECTRICAL SUB-PANEL TO REMAIN.



SHEAR PANEL SCHEDULE				
NOTES: 1. 7/16" PARTICLE BOARD (PANEL GRADE 2-MW) MAY BE SUBSTITUTED FOR STRUCT I PLYWOOD 2. 3 x 4 SILL PLATE AND 4 x 4 POSTS AT 4" O/C AT ADJOINING PANEL EDGES WHERE SHEAR OCCURS BOTH SIDES 3. EXTEND SHEAR PANEL FROM FLOOR TO FLOOR PER U.B.C. PER U.B.C. TABLE 23-K-1 OR FLOOR TO ROOF SHEATHING ABOVE (TYPICAL)				
		"SIMPSON 435" FROM WALL TO RIM JOIST OR FROM ROOF TO PLATES	1/2" DIA. X 12" LONG ANCHOR BOLT SPACING	SILL PLATE NAILING AT 2nd SECOND FLOOR
3	3/8" PLYWOOD STRUCT II WITH 6d NAILS AT 3" O/C EDGES AND 12" O/C IN FIELD 16d O/C ADJOINING PANEL EDGES	492 PLF 384 PLF (IF BOTH SIDES)	12" O/C 6" O/C (IF BOTH SIDES)	12" O/C (IF BOTH SIDES)
				16d AT 3" O/C 1/2" x 6" LAG SCREWS AT 6" O/C (IF BOTH SIDES)



Reflected Ceiling Plan

- 6-153 EXISTING REDWOOD TRELLIS TO BE REMOVED  
6-224 4" x 4" DOUGL. FIR #2 OR BETTER POST WITH "SIMPSON EPC4"  
9-018 EXISTING CEMENT PLASTER TO BE REMOVED AS SHOWN  
9-14 STUCCO SOFFIT (USE HIGH-RIB METAL LATH AT ALL HORIZONTAL APPLICATIONS)  
9-70 NEW 2" x 4" SUSPENDED METAL T-BAR CEILING SYSTEM WITH LAY-IN ACOUSTICAL PANELS  
9-71 INSTALL COMPRESSION STRUT AT 12'-0" O/C EACH DIRECTION OR EVERY 144 SQUARE FEET OF CEILING PER U.B.C. STD. 25-2  
9-73 EXISTING SUSPENDED T-BAR LAY-IN ACOUSTICAL CEILING TO REMAIN  
9-74 EXISTING CEILING TO BE PATCHED AND/OR REPAIRED AS REQUIRED WHERE NEW WALL IS TO BE INSTALLED  
9-75 EXISTING 12" x 12" GUEDED ACOUSTICAL CEILING TILES AND GYPSUM BOARD TO BE REMOVED AS INDICATED  
15-86 TYPICAL SUPPLY AIR REGISTER  
15-87 FLUSH RETURN AIR GRILLE  
15-92 EXISTING SUPPLY AIR REGISTER TO REMAIN  
15-94 EXISTING SUPPLY AIR DIFFUSER AND DUCT TO BE REMOVED  
15-96 EXISTING RETURN AIR GRILLE AND DUCT TO BE REMOVED  
16-42 RECESSED "CAN" LIGHT FIXTURE ("V" = VAPOR RESISTANT, "F" = FLUORESCENT, "I" = INCANDESCENT-WHERE OCCURS)  
16-49 NEW 2'-0" x 4'-0" FLUSH FLUORESCENT LIGHT TO MATCH EXISTING  
16-89 REMOVE EXISTING EXIT SIGNS DURING CEILING DEMOLITION AND RECONNECT AND REINSTALL TO NEW CEILING  
16-93 EXISTING LIGHT TO REMAIN  
16-99 EXISTING LIGHTS TO BE REMOVED

ROOM FINISH SCHEDULE									
ROOM NO.	NAME	BASE		FLOORING		WALLS		CEILING	
		MATL.	FIN.	HGT.	MATL.	FIN.	NORTH	SOUTH	WEST
100	LOBBY	TSB	INT	4"	TSB	INT	GB/E	GB/E	T-BAR
101	OFFICE	(E)/TSB	(E)	(E)	(E)	(E)	(E)	(E)	(E)
102	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
103	VAULT	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
104	CONF.	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
105	CORRIDOR	(E)/TSB	(E)	(E)	(E)	(E)	GB/E	(E)	(E)/T-BAR
106	CONF.	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
107	CORRIDOR	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
108	OFFICE	TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
109	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
110	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
111	CLERK	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)
112	CORRIDOR	(E)/TSB	(E)	(E)	(E)	(E)	GB/E	(E)	(E)
113	CORRIDOR	(E)	(E)	(E)	(E)	(E)	(E)	(E)	(E)
114	COPY RM.	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
115	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
116	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
117	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
118	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
119	PHONE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
120	CORRIDOR	(E)/TSB	(E)	(E)	(E)	(E)	(E)	(E)	(E)
121	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
122	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
123	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
124	VAULT	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
125	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
126	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
127	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
128	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
129	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
130	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
131	MEN	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
132	WOMEN	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
133	STORAGE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
134	LUNCH	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
135	CORRIDOR	(E)/TSB	(E)	(E)	(E)	(E)	(E)	(E)	(E)
136	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
137	WOMEN	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
138	CORRIDOR	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
139	PHONE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
140	JANITOR	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
141	MEN	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
142	CORRIDOR	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
143	OFFICE	TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
144	OFFICE	(E)/TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
145	OFFICE	(E)	INT	4"	CARPET	INT	(E)	(E)	(E)
146	CORRIDOR	(E)/TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
147	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
148	CLOSET	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
149	CORRIDOR	(E)/TSB	(E)	(E)	(E)	(E)	(E)	(E)	(E)
150	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
151	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
152	OFFICE	(E)/TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
153	COPY	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
154	BLUEPRINT	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
155	STORAGE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
156	OFFICE	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
157	OFFICE	(E)/TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
158	OFFICE	(E)/TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
159	OFFICE	(E)/TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
160	ELEC.	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							
161	OFFICE	(E)/TSB	INT	4"	CARPET	INT	(E)	(E)	(E)
162	CLOSET	EXISTING TO REMAIN (NO WORK REQUIRED IN THIS ROOM)							

- ABBREVIATIONS:  
(E) EXISTING WORK TO REMAIN (PATCH WHERE REQUIRED)  
E TWO COATS LATEX SEMI-GLOSS ENAMEL OVER EXISTING PAINT  
(OVER PVA PRIMER IF NEW GYPSUM BOARD)  
GB 5/8" TYPE "X" GYPSUM BOARD  
INT INTEGRAL  
PLAS PLASTER (EXISTING)  
TSB TOPSET BASE  
VINYL SLIP RESISTANT SHEET VINYL (TO BE SELECTED BY OWNER)

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Reflected Ceiling Plans

A-5

DEMO CEILING AND LIGHTING PLAN

1/8"=1'-0"

LEGEND

- NEW RECESSED CAN LIGHT FIXTURE  
● NEW RECESSED ADJUSTABLE CAN LIGHT FIXTURE  
□ NEW HIGH PRESSURE SODIUM  
□ NEW SUPPLY AIR DIFFUSER  
□ EXISTING DIFFUSER  
□ NEW RETURN AIR GRILLE  
□ EXISTING RETURN AIR TO REMAIN  
□ NEW 2'x4' RECESSED FLUORESCENT FIXTURE WITH FOUR (4) T8 LAMPS  
□ EXISTING LIGHT TO REMAIN

REFLECTED CEILING PLAN

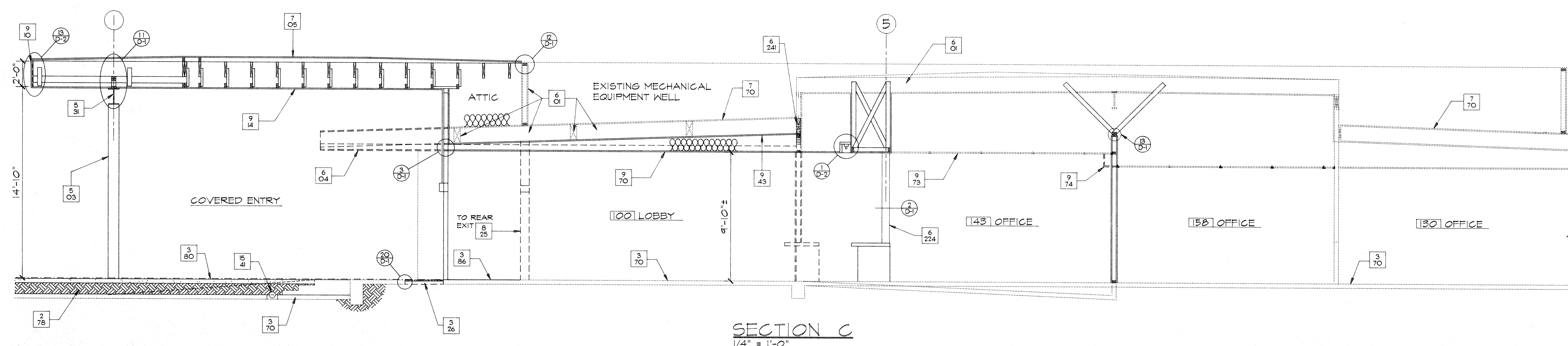
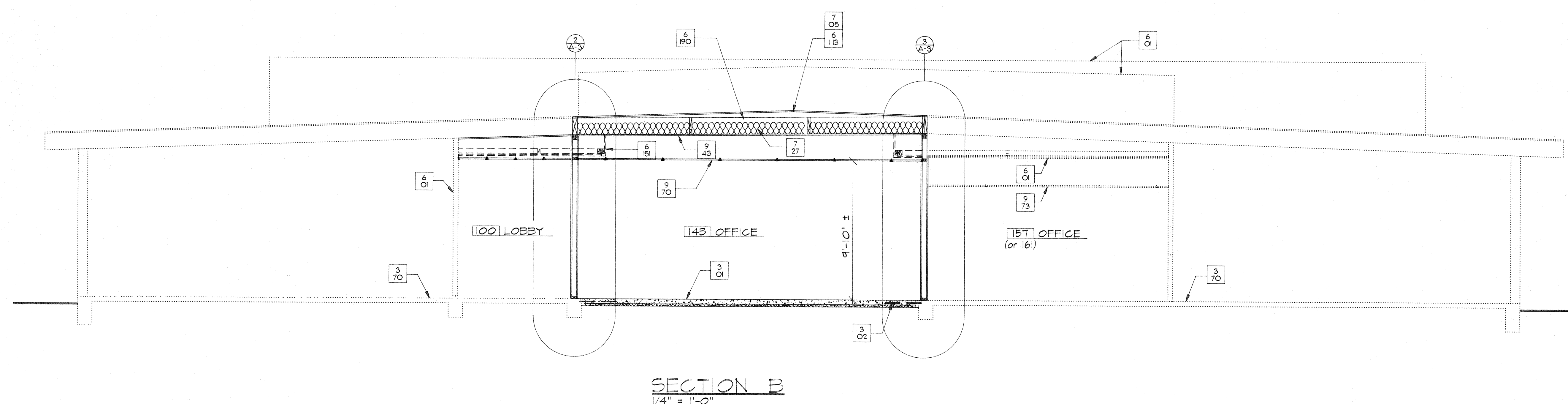
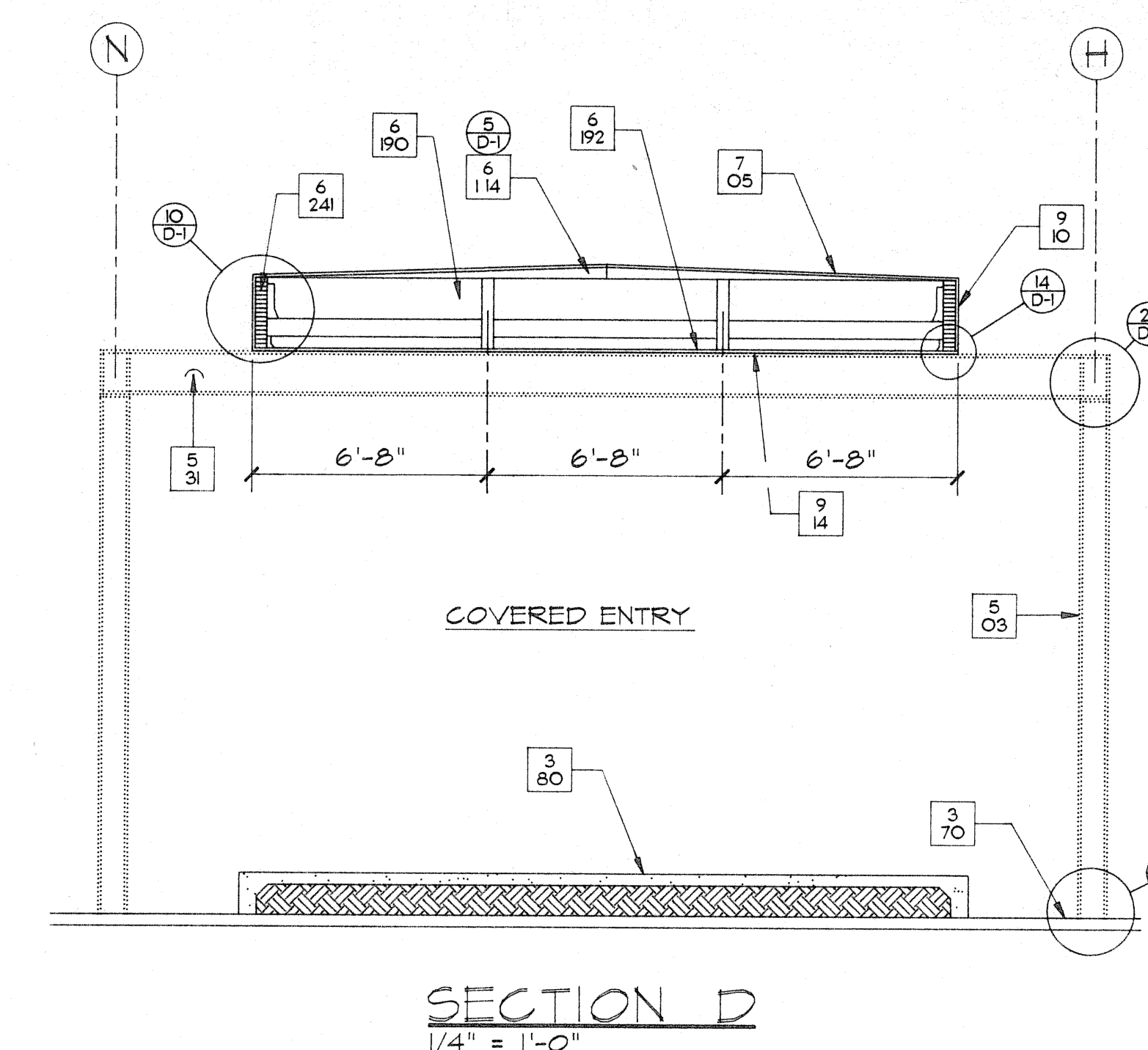
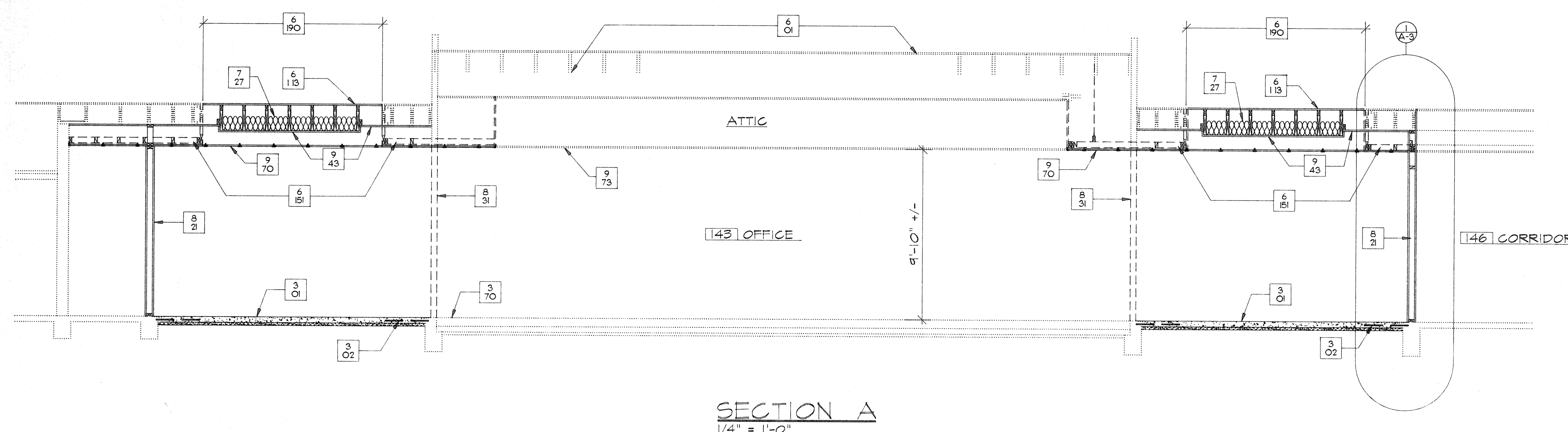
1/8"=1'-0"

ONLY A LICENSED ELECTRICAL CONTRACTOR CAN PERFORM WORK AND SHALL FURNISH ALL ELECTRICAL DATA, SUCH AS (BUT NOT LIMITED TO) ANY NEW SUB-PANELS REQUIRED, PANEL SCHEDULES, WIRE SIZES, WIRE TYPE, OUTLET LOCATIONS, ETC., BEFORE BEGINNING OF WORK.



## Sections

- 2-78 CLEAN NATIVE FILL (COMPACTED TO 90%)
- 3-01 4" MINIMUM THICK CONCRETE SLAB (2,500 PSI MIX) ON 2" SAND OVER 10 MIL "VISOQUEEN" VAPOR BARRIER WITH 6" x 6" x #10 x #10 WELDED WIRE MESH IN CENTER OF SLAB
- 3-02 DRILL 5/8" DIAMETER HOLES AT 24" O/C AND EPOXY-TIE NEW SLAB TO EXISTING FOOTING WITH 24" LONG #4 BARS AT 24" O/C WITH 6" MINIMUM EMBEDMENT
- 3-26 SAWCUT AND REMOVE EXISTING CONCRETE SLAB AS REQUIRED TO INSTALL RECESSED ENTRY DOOR MAT
- 3-70 EXISTING CONCRETE SLAB AND FOUNDATION TO REMAIN
- 3-80 POUR NEW 4" MINIMUM THICK CONCRETE SLAB (2,500 PSI MIX) WITH 6" x 6" x #10 WELDED WIRE MESH IN CENTER OF SLAB WITH MEDIUM BROOM FINISH OVER EXISTING SLAB TO REMAIN
- 3-86 EXISTING SLOPING SLAB TO RECEIVE NEW SMOOTH TROWELABLE FEATHER EDGING MORTAR OVER TO PROVIDE LEVEL SUBSTRATE FOR NEW FINISH FLOORING
- 5-03 NEW WIDE FLANGE STEEL COLUMN (SEE FRAMING PLAN)
- 5-31 NEW WIDE FLANGE STEEL BEAM (SEE FRAMING PLAN)
- 6-01 EXISTING WORK TO REMAIN
- 6-04 EXISTING WORK TO BE REMOVED. PROVIDE ADEQUATE TEMPORARY SUPPORT OF EXISTING STRUCTURE AT ALL TIMES
- 6-113 1932" APA RATED OSB ROOF SHEATHING (I.C.B.O. REPORT NO. NER 322) 32/18 SPAN RATING LAY PERPENDICULAR WITH RAFTERS AND NAIL WITH 8d NAILS AT 6" O/C EDGES AND BOUNDARY AND 12" O/C IN FIELD
- 6-114 2x RIP STRIPS AT 16" O/C WITH (1) 16d NAIL TO EACH JOIST
- 6-151 EXISTING 2 x 4 SUSPENDED CEILING FRAMING TO BE REMOVED
- 6-190 2 x 14 DOUG FIR #1 OR BETTER ROOF JOISTS AT 16" O/C (15'-0" MAXIMUM SPAN PER U.B.C. TABLE NO. 23-I-V-R-4)
- 6-192 2 x 4 DOUG FIR #2 OR BETTER SOFFIT FRAMING AT 16" O/C (10'-3" MAXIMUM SPAN PER UBC TABLE 23-I-V-3. PROVIDE 2 X 4 HANGER SUPPORTS WITH (3) 16d NAILS TOP AND BOTTOM WHERE SPAN EXCEEDS 10'-0")
- 6-224 4 x 4 DOUG FIR #2 OR BETTER POST WITH "SIMPSON EPC44"
- 6-241 BEAM (SEE FRAMING PLAN)
- 7-05 NEW 4-PLY HOT-MOPPED ROOF WITH MINERAL CAP SHEET AND 20-YEAR BONDED WARRANTY
- 7-27 R-30 FIBERGLASS BATT INSULATION
- 7-70 EXISTING ROOFING TO REMAIN
- 8-21 EXISTING WINDOW TO BE REMOVED. FILL OPENING WITH 2 x 4 FRAMING AT 16" O/C AND FINISH TO MATCH ADJACENT MATERIALS, COLORS AND TEXTURES
- 8-25 EXISTING GLASS DOOR, FRAME AND HARDWARE TO BE RELOCATED AS INDICATED
- 8-31 EXISTING GLASS TO BE REMOVED
- 9-10 7/8" EXTERIOR CEMENT PLASTER WITH EXPANDED METAL LATH OVER BUILDING PAPER. PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL PLYWOOD (USE HIGH RIB LATH AT HORIZONTAL APPLICATIONS)
- 9-43 PROVIDE 5/8" TYPE "X" GYPSUM BOARD ENTIRE ATTIC FOR ONE-HOUR CONSTRUCTION
- 9-70 NEW 2' x 4' SUSPENDED METAL T-BAR CEILING SYSTEM WITH LAY-IN ACOUSTICAL PANELS
- 9-73 EXISTING SUSPENDED T-BAR LAY-IN ACOUSTICAL CEILING TO REMAIN
- 9-74 EXISTING CEILING TO BE PATCHED AND/OR REPAIRED AS REQUIRED WHERE NEW WALL IS TO BE INSTALLED
- 15-41 6" DIAMETER SCHEDULE 40 PVC DRAIN PIPE. REMOVE EXISTING CONCRETE AS REQUIRED TO INSTALL AND PROVIDE 1/8" PER FOOT MINIMUM SLOPE FROM NORTH TO SOUTH



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SHEET

A-6

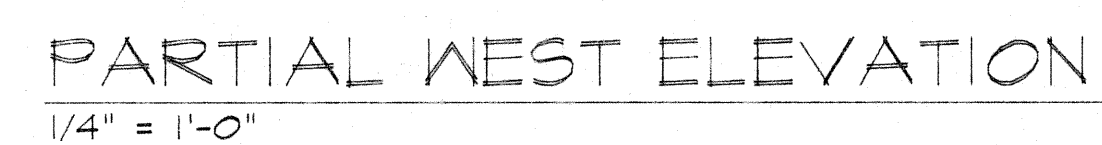
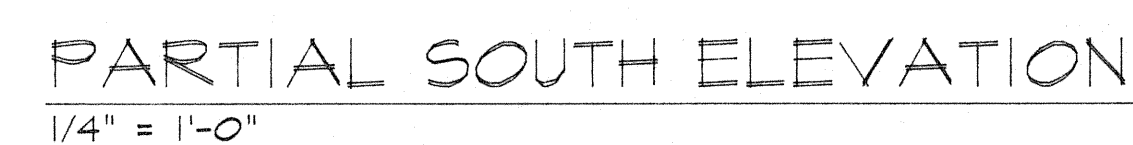
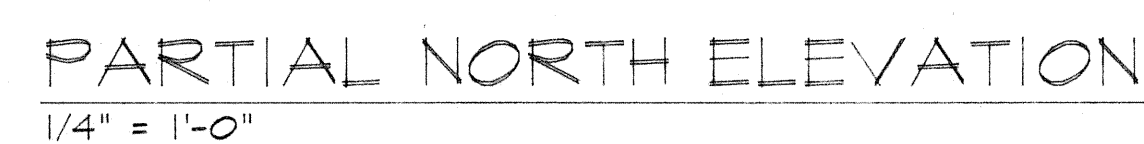
Sections

A-6



**3-80** POUR NEW 4" MINIMUM THICK CONCRETE SLAB (2,500 PSI MIX WITH 6" x 6" x #10 WELDED WIRE MESH IN CENTER OF SLAB WITH MEDIUM BROOM FINISH) OVER EXISTING SLAB TO REMAIN

- 5-03 NEW WIDE FLANGE STEEL COLUMN (SEE FRAMING PLAN)
- 5-04 EXISTING WIDE FLANGE STEEL COLUMN TO REMAIN
- 5-17 REMOVE EXISTING HANDRAIL. PATCH CONCRETE TO MATCH EXISTING
- 6-01 EXISTING WORK TO REMAIN
- 6-132 14" WIDE X 12" HIGH LOUVERED GABLE END VENT WITH 1/4" GALVANIZED MESH SCREEN
- 7-40 CONTINUOUS 24 GAUGE ROOF/WALL FLASHING (TYPICAL)
- 7-46 GALVANIZED SHEET METAL RAIN GUTTER TO MATCH EXISTING GUTTER PROFILE AND PAINTED TO MATCH EXISTING COLOR
- 8-09 PROVIDE APPROVED METAL GUIDE RAILS FOR AUTOMATIC DOOR PER A.D.A. REQUIREMENTS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO CITY FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION
- 8-18 1/2" INDICATED TEMPERED GLASS
- 8-25 EXISTING WOOD DOOR, FRAME AND HARDWARE TO BE RELOCATED AS SHOWN
- 9-13 "FRC PS-75-25-25" PLASTER CHANNEL SCREEN
- 9-05 REMOVE EXISTING STUCCO AND REPLACE WITH NEW 5/8" TYPE "X" GYPSUM BOARD, TAPE, PUTTY AND PAINT TO MATCH EXISTING COLOR & TEXTURE
- 9-10 EXTERIOR CEILING CEILING TO MATCH WITH EXPANDED METAL LATH OVER BUILDING PAPER. PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL PLYWOOD (USE HIGH RIB LATH AT ALL HORIZONTAL APPLICATIONS)
- 9-14 STUCCO SOFFIT (USE HIGH-RIB METAL LATH AT ALL HORIZONTAL APPLICATIONS)
- 10-70 CITY OF FONTANA SEAL TO BE FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.





Interior Elevations

6-01 EXISTING WORK TO REMAIN

8-18 "T" INDICATES TEMPERED GLASS

8-24 EXISTING DOOR TO BE REMOVED. PATCH OPENING TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES.

9-31 PATCH WALL TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES

9-32 NEW 5/8" TYPE "X" GYPSUM BOARD (TAPE, PUTTY AND PAINT)

9-39 PROVIDE 1 x 2 FURRING STRIPS AT 16" O/C WITH ONE LAYER 5/8" TYPE "X" GYPSUM BOARD (TAPE, PUTTY AND PAINT)

9-40 EXISTING WALL TO BE PATCHED, REPAIRED AND PAINTED

9-41 EXISTING BASE TO REMAIN (REPLACE IF DAMAGED)

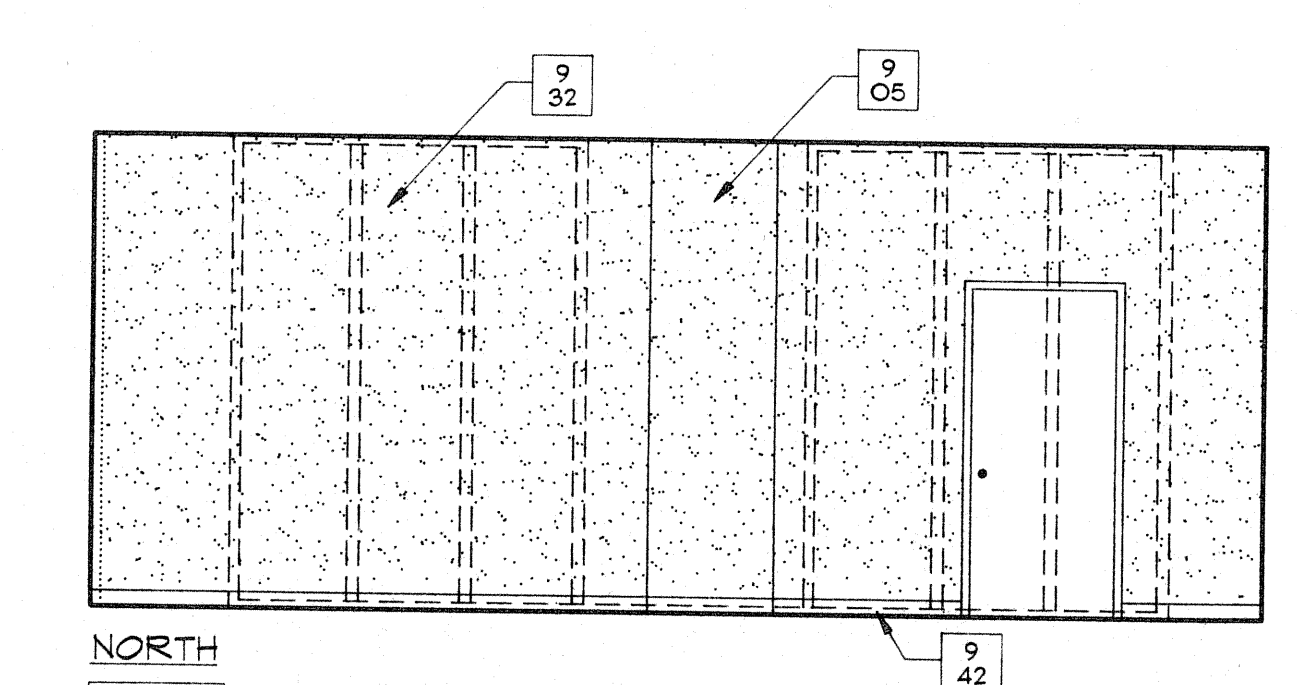
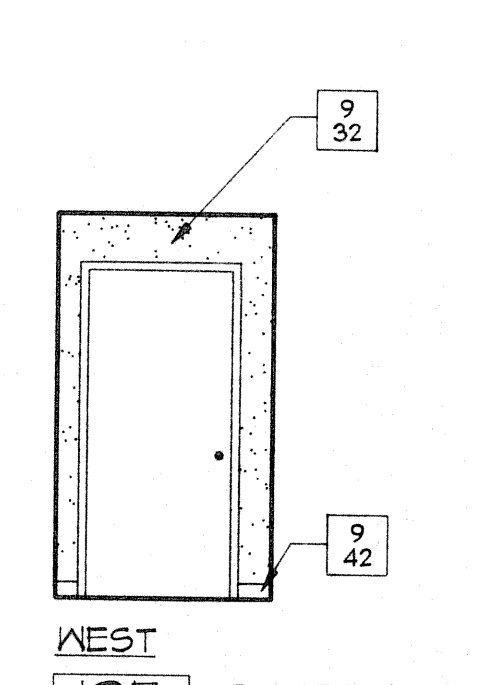
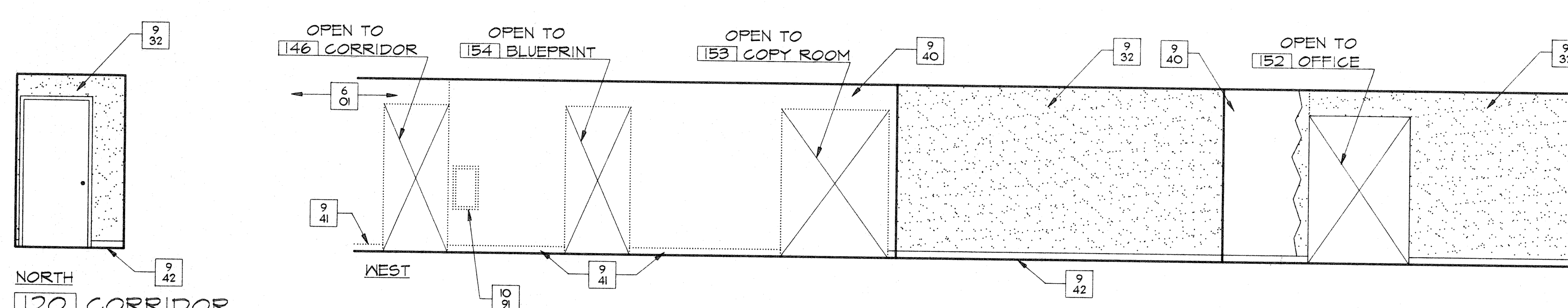
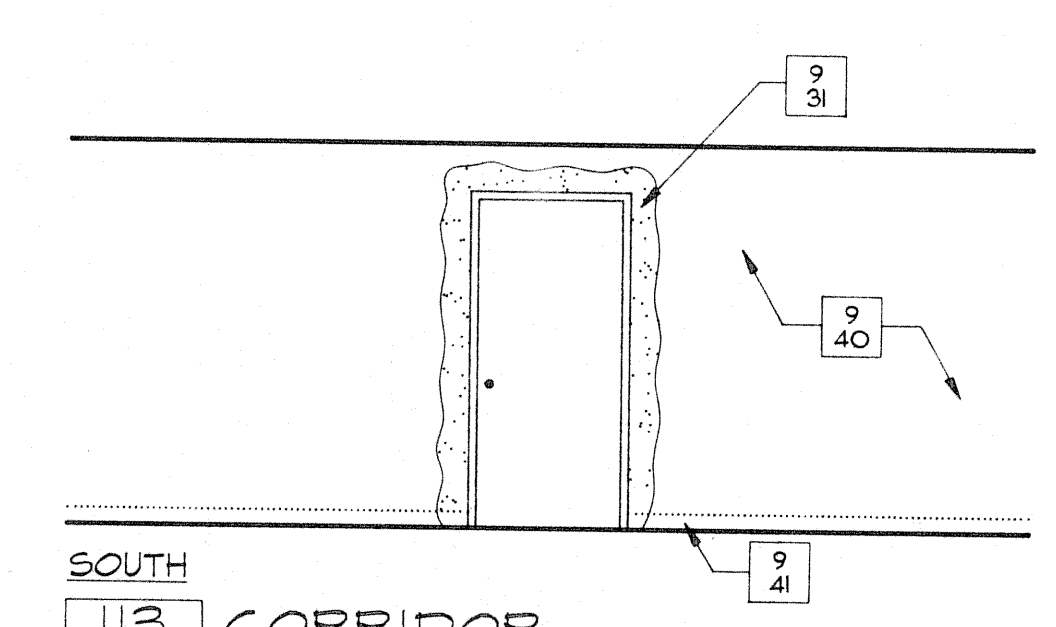
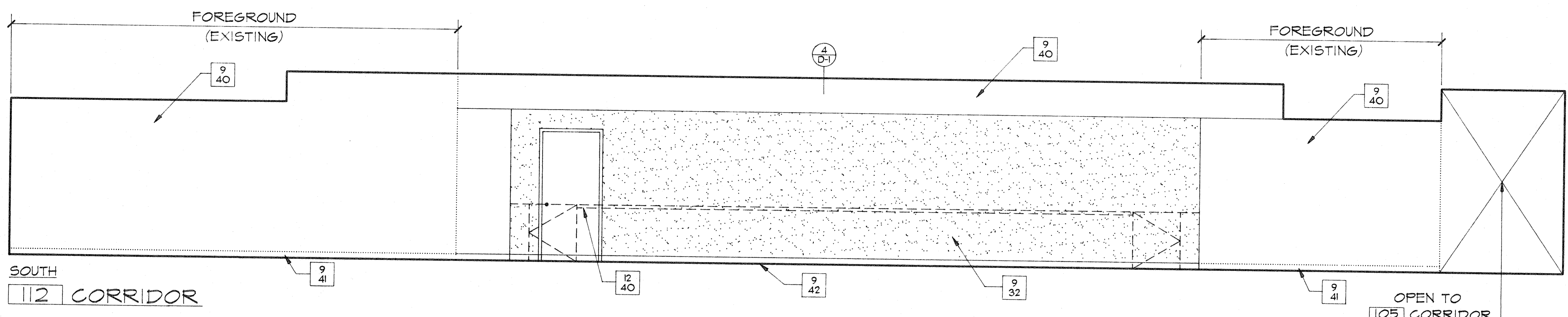
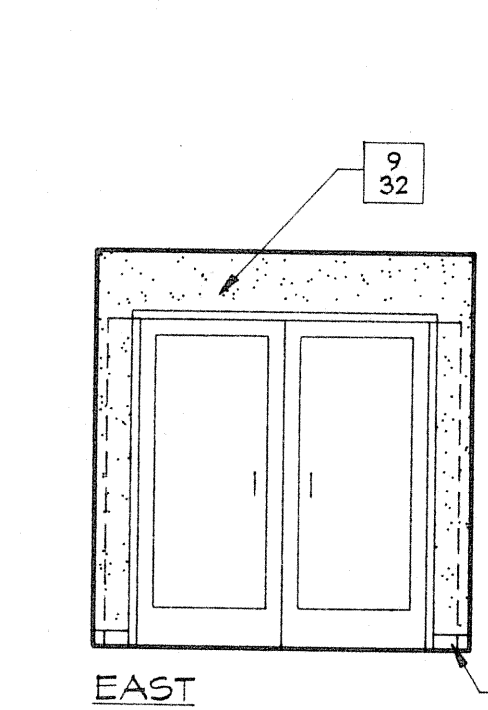
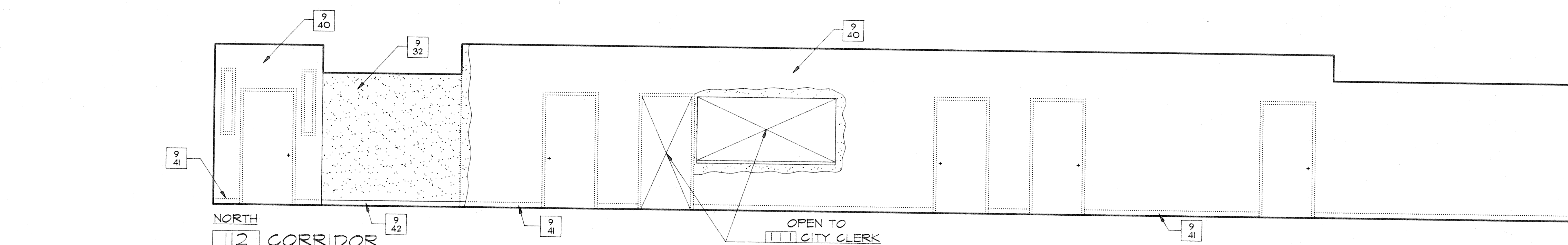
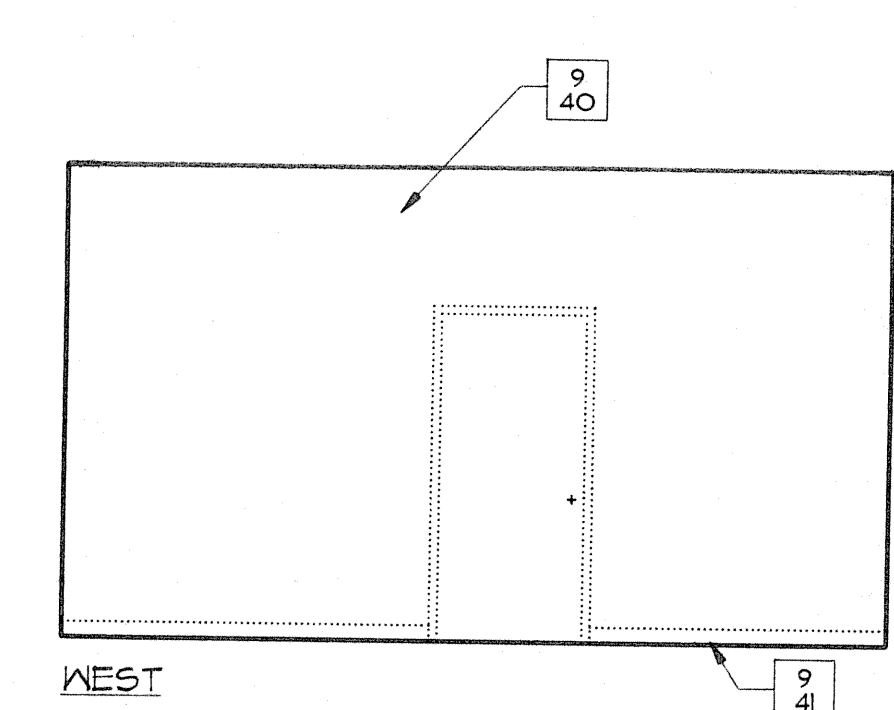
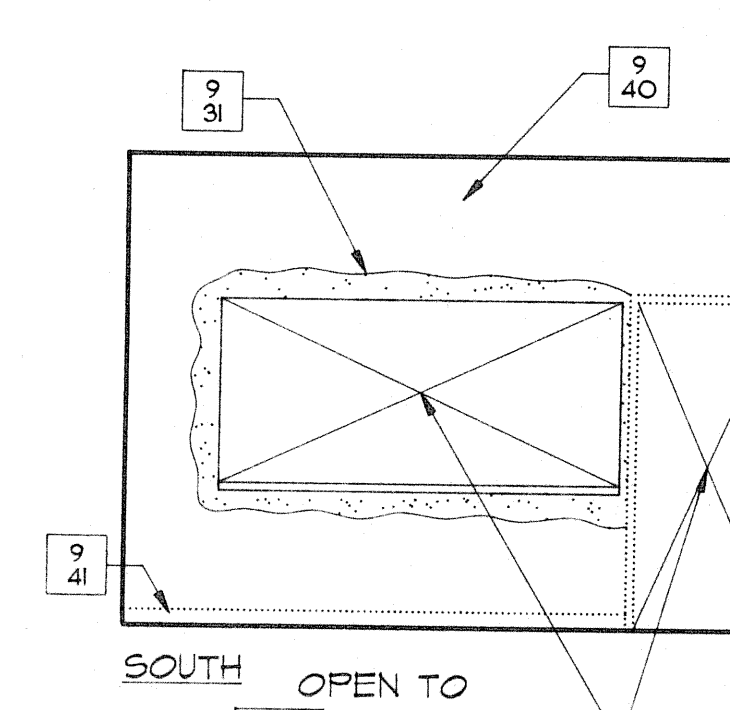
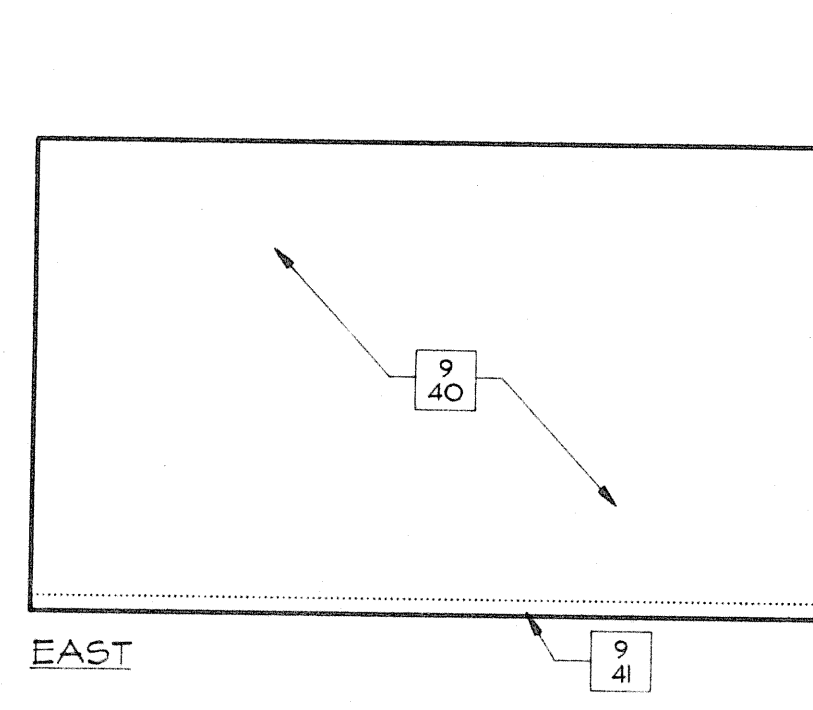
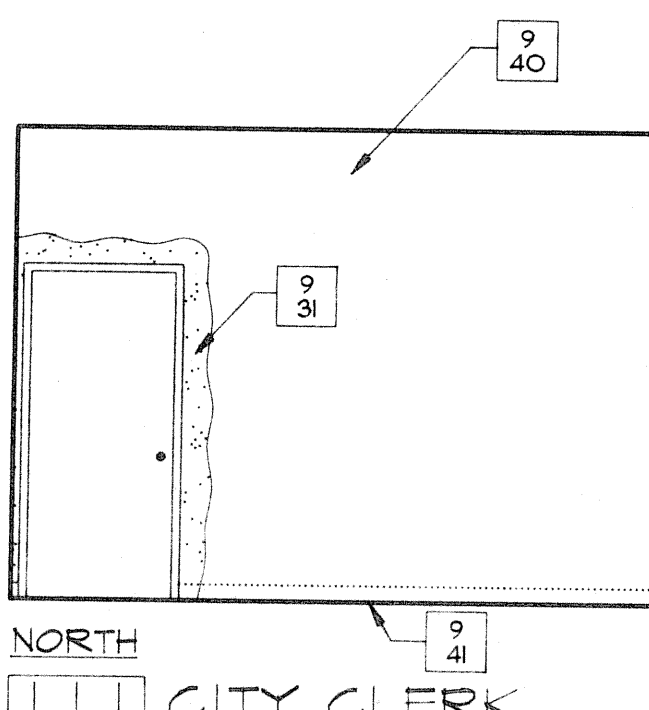
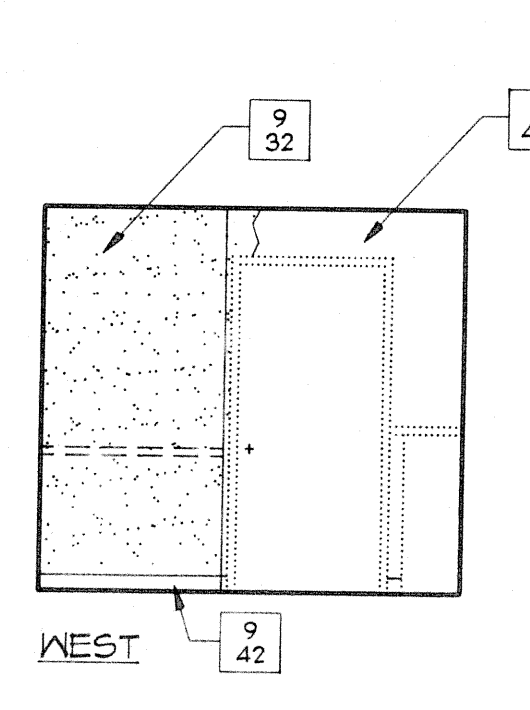
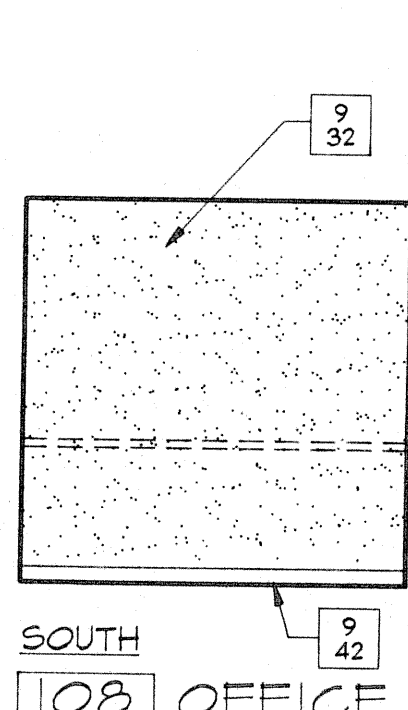
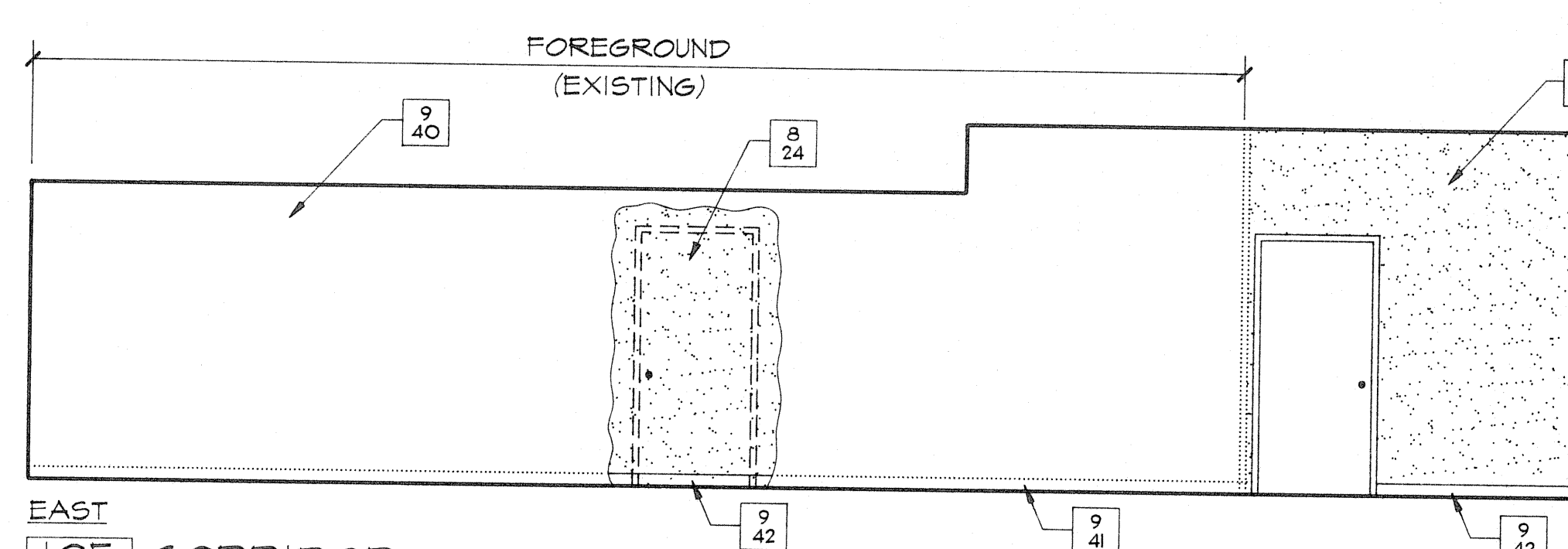
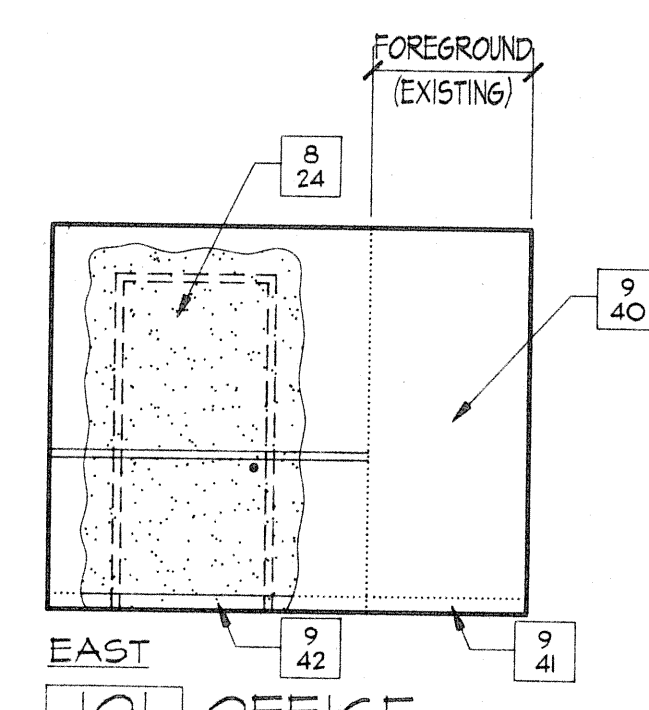
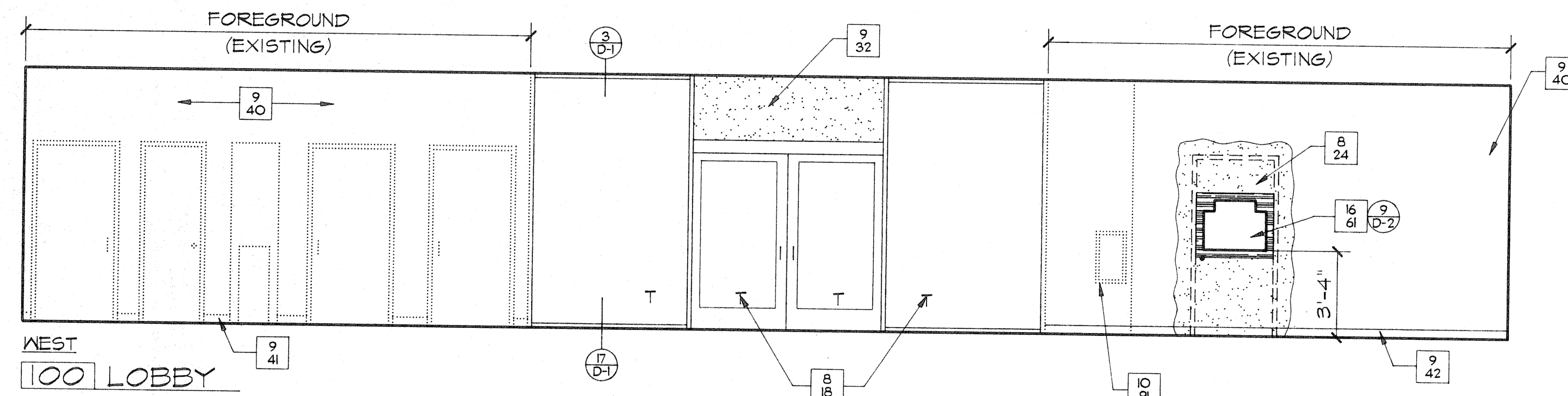
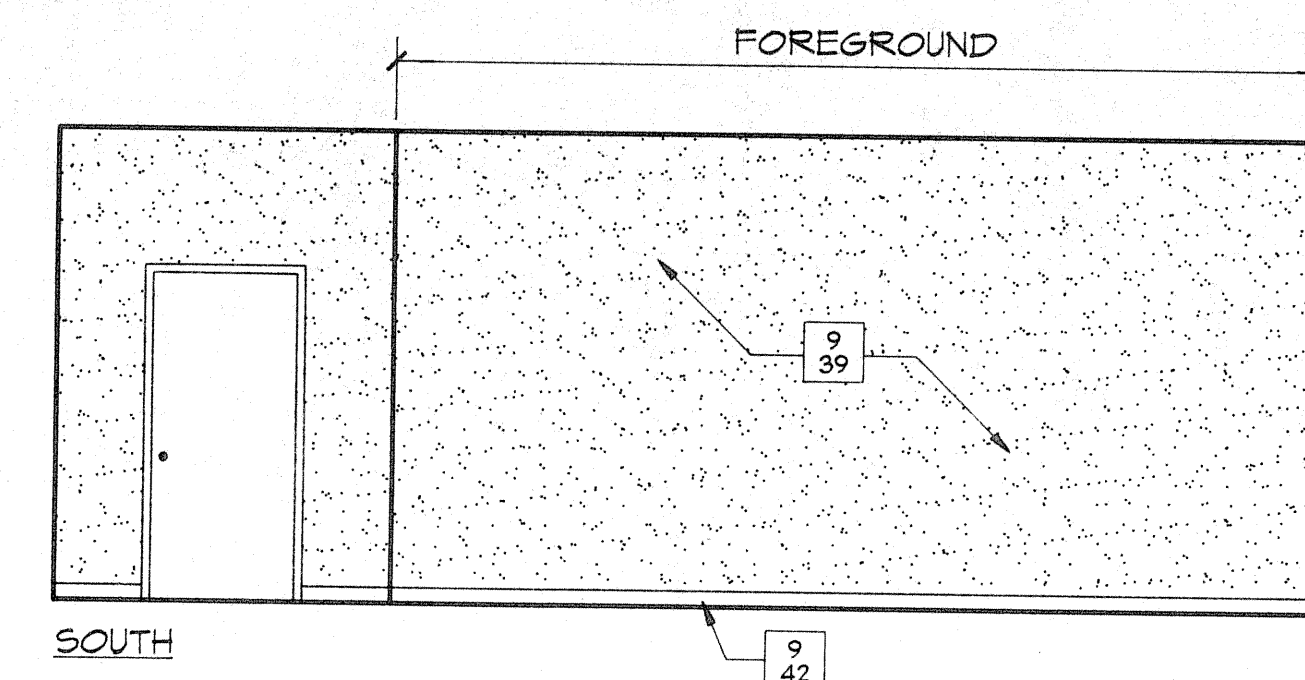
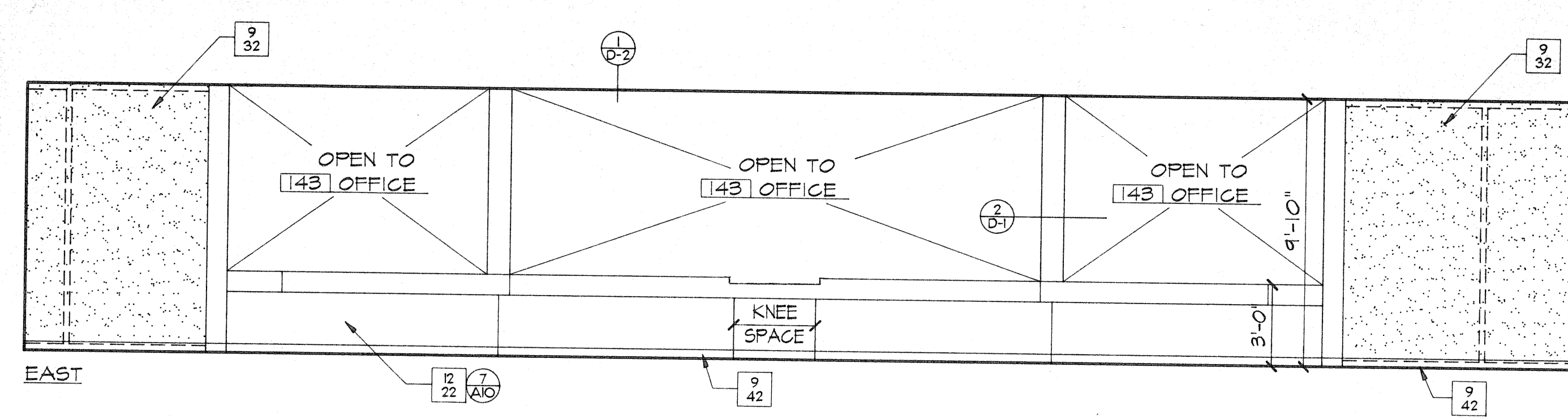
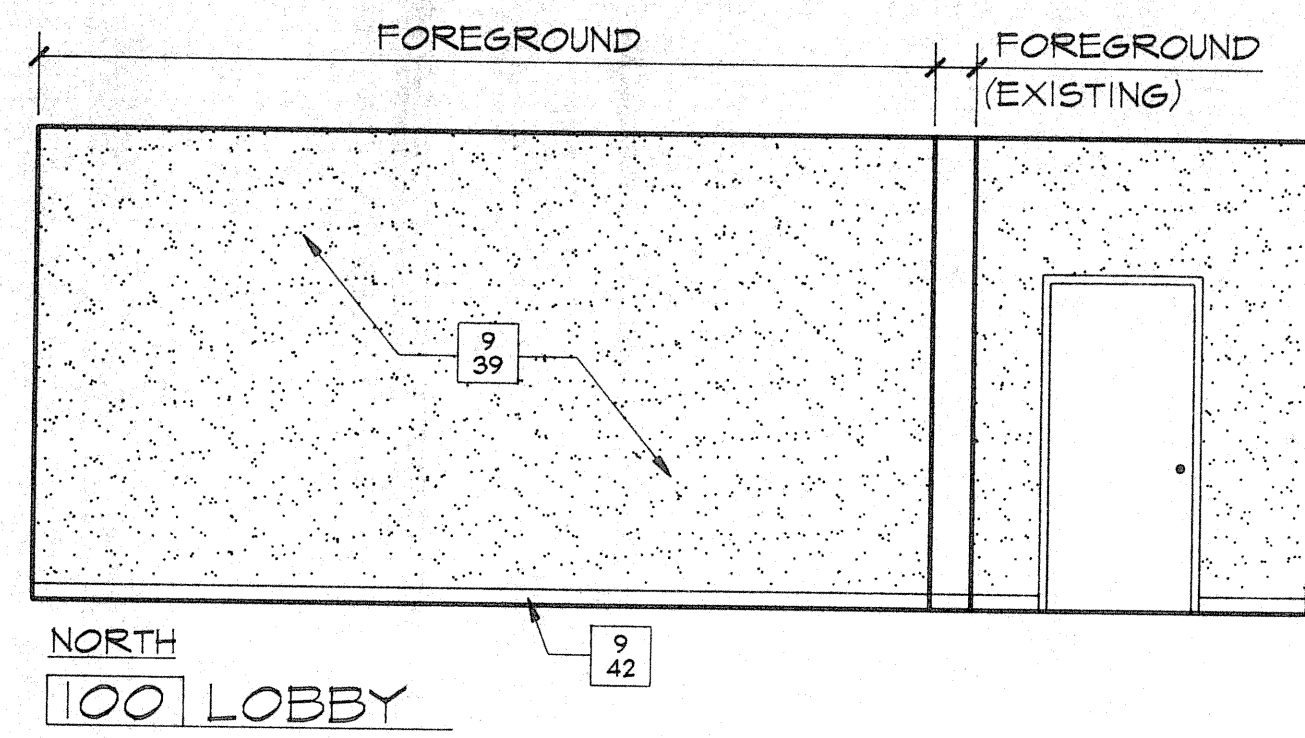
9-42 NEW 4" HIGH RUBBER BASE TO MATCH EXISTING BASE COLOR, PROFILE AND HEIGHT

10-91 EXISTING FIRE EXTINGUISHER CABINET TO REMAIN

12-22 BASE CABINET WITH LAMINATED PLASTIC TOP

12-40 EXISTING COUNTER TO BE REMOVED

16-61 RELOCATED TV & VCR TO BE SET IN OPENING



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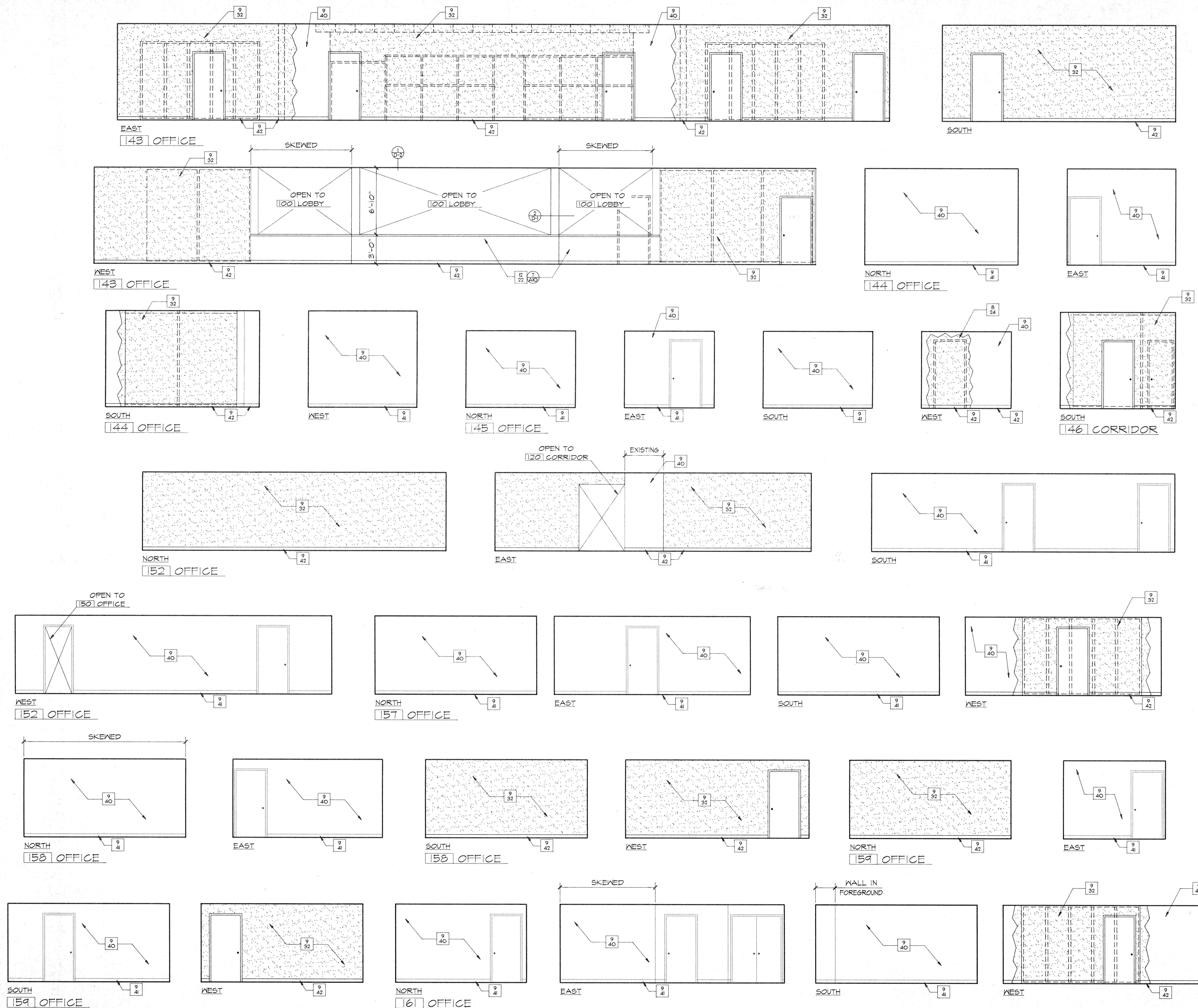
Interior Elevations

A-8



*Interior Elevations*

- 8-24 EXISTING DOOR TO BE REMOVED, PATCH OPENING TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES.  
9-31 PATCH WALL TO MATCH EXISTING MATERIALS, COLORS AND TEXTURES  
9-32 NEW 5/8" TYPE "X" GYPSUM BOARD (TAPE, PUTTY AND PAINT)  
9-40 EXISTING WALL TO BE PATCHED, REPAIRED, NO PAINTED  
9-41 EXISTING BASE TO REMAIN (REPLACE IF DAMAGED)  
9-42 NEW 4" HIGH RUBBER BASE TO MATCH EXISTING BASE COLOR, PROFILE AND HEIGHT  
12-22 BASE CABINET WITH LAMINATED PLASTIC TOP



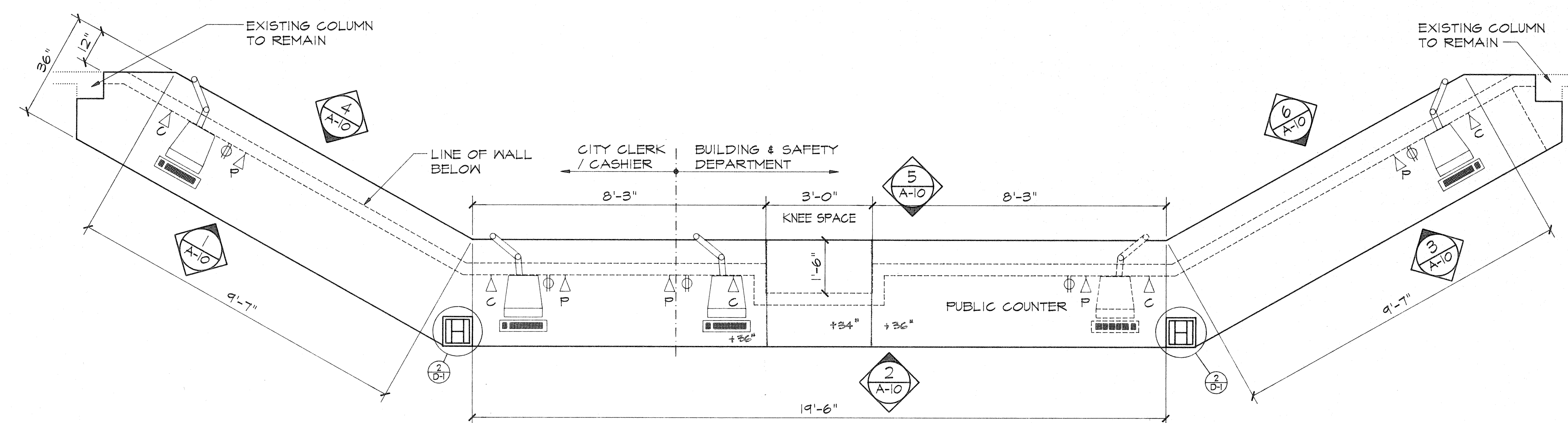
Proposed Remodel for:  
**Fontana City Hall**  
8353 Sierra Avenue, Fontana, CA 92335

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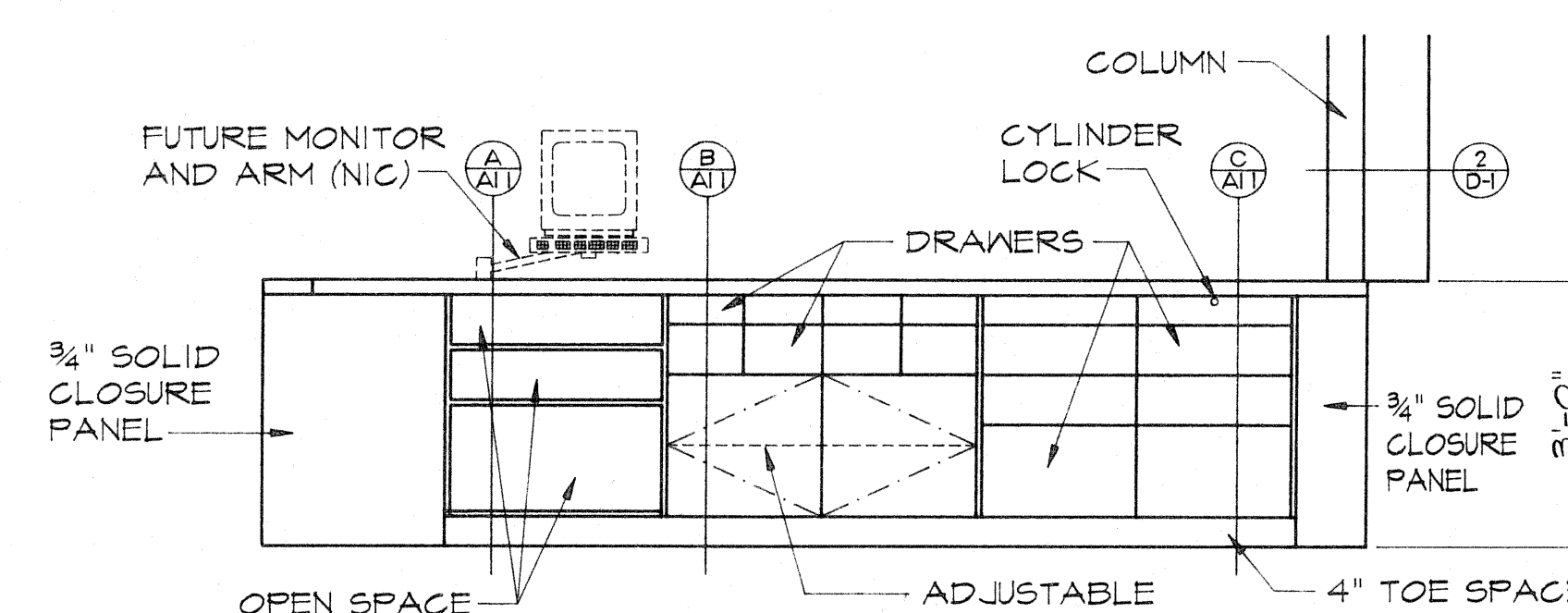
*Interior Elevations*

**A-9**

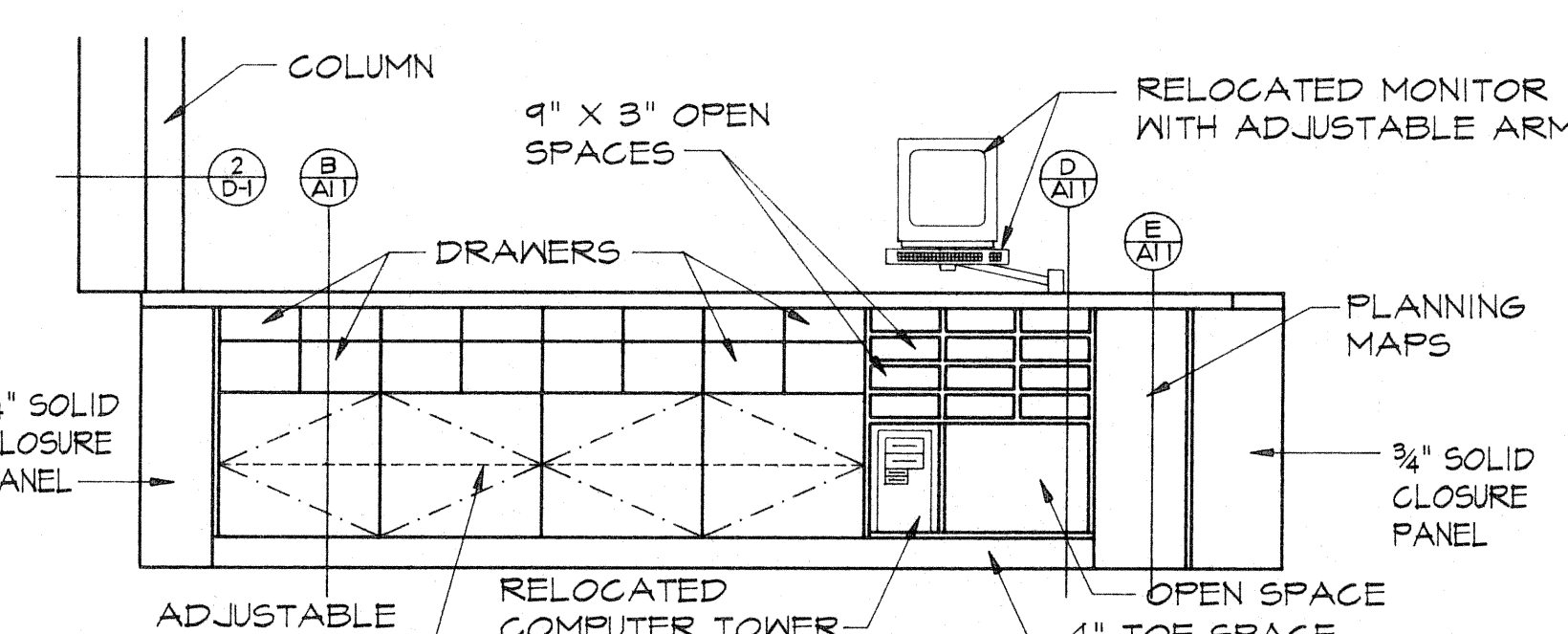




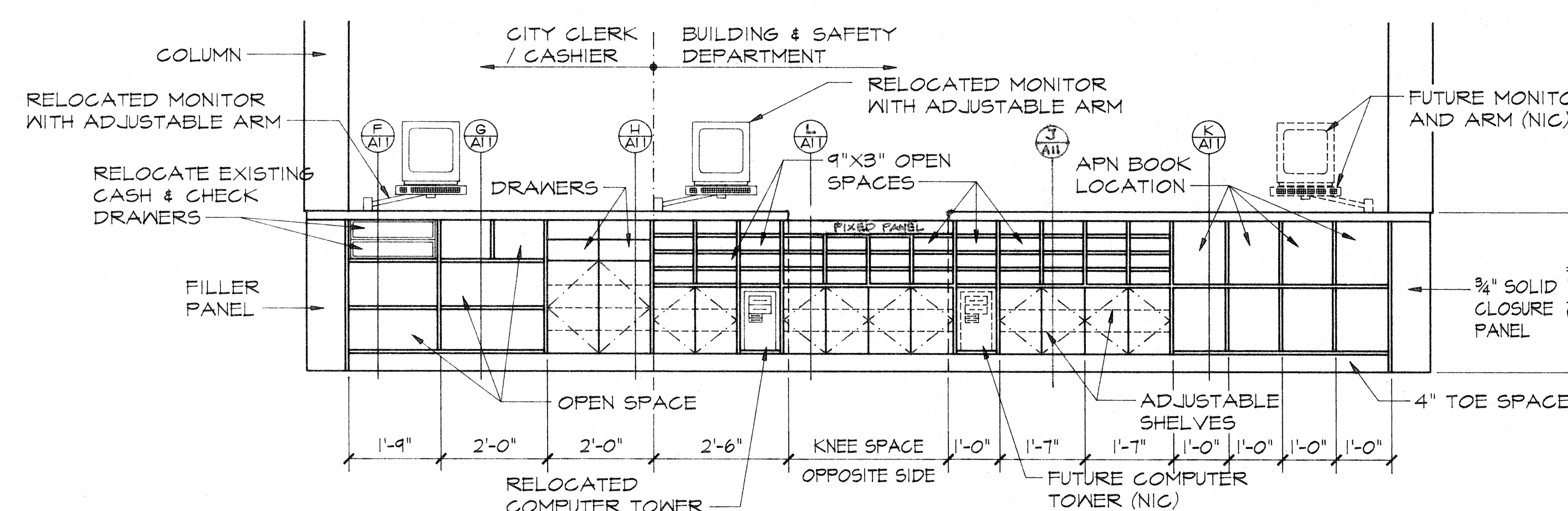
7 PLAN VIEW  
1/2" = 1'-0"



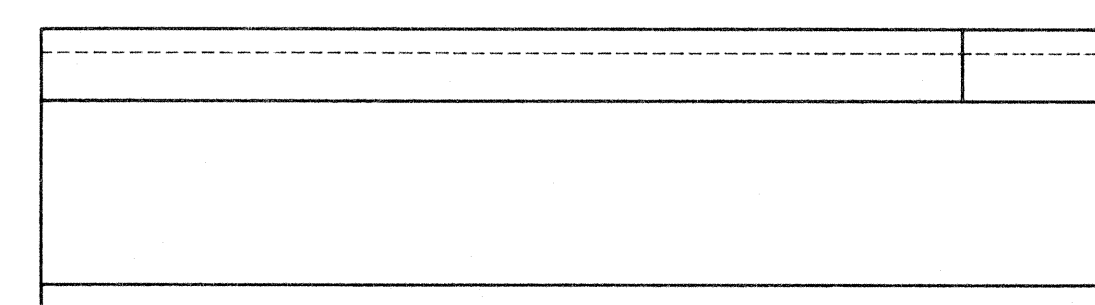
1 CITY CLERK  
LAM. PLASTIC CONSTRUCTION



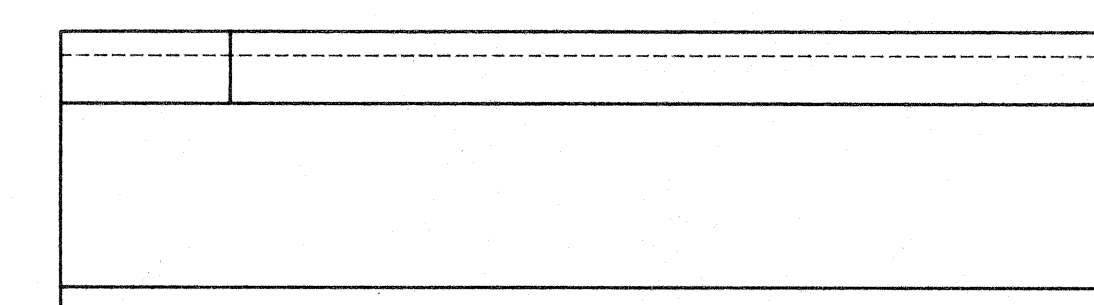
3 BUILDING & SAFETY  
LAM. PLASTIC CONSTRUCTION



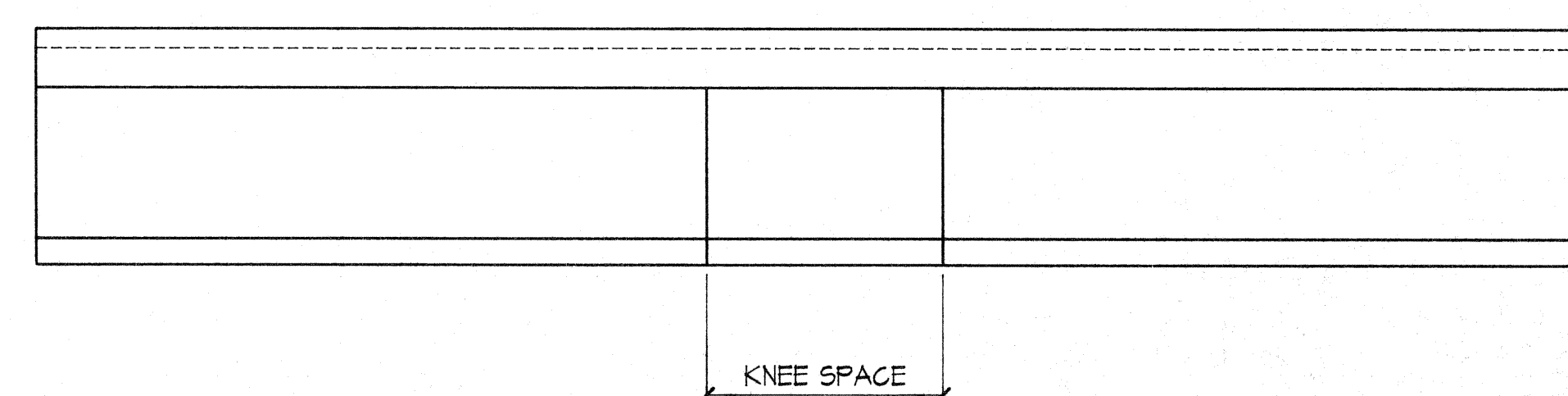
2 MAIN COUNTER  
LAM. PLASTIC CONSTRUCTION



4 CITY CLERK  
LAM. PLASTIC CONSTRUCTION



6 BUILDING & SAFETY  
LAM. PLASTIC CONSTRUCTION



5 MAIN COUNTER  
LAM. PLASTIC CONSTRUCTION

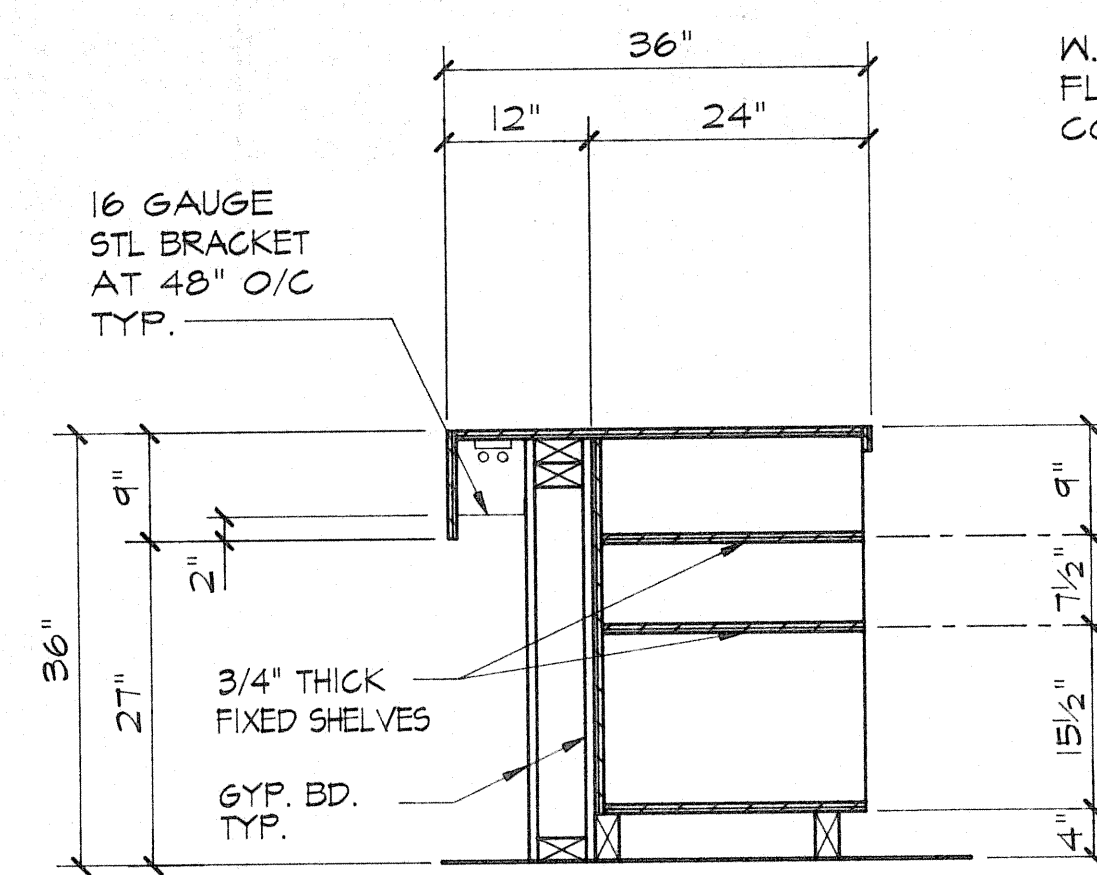
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**Cabinet  
Details**

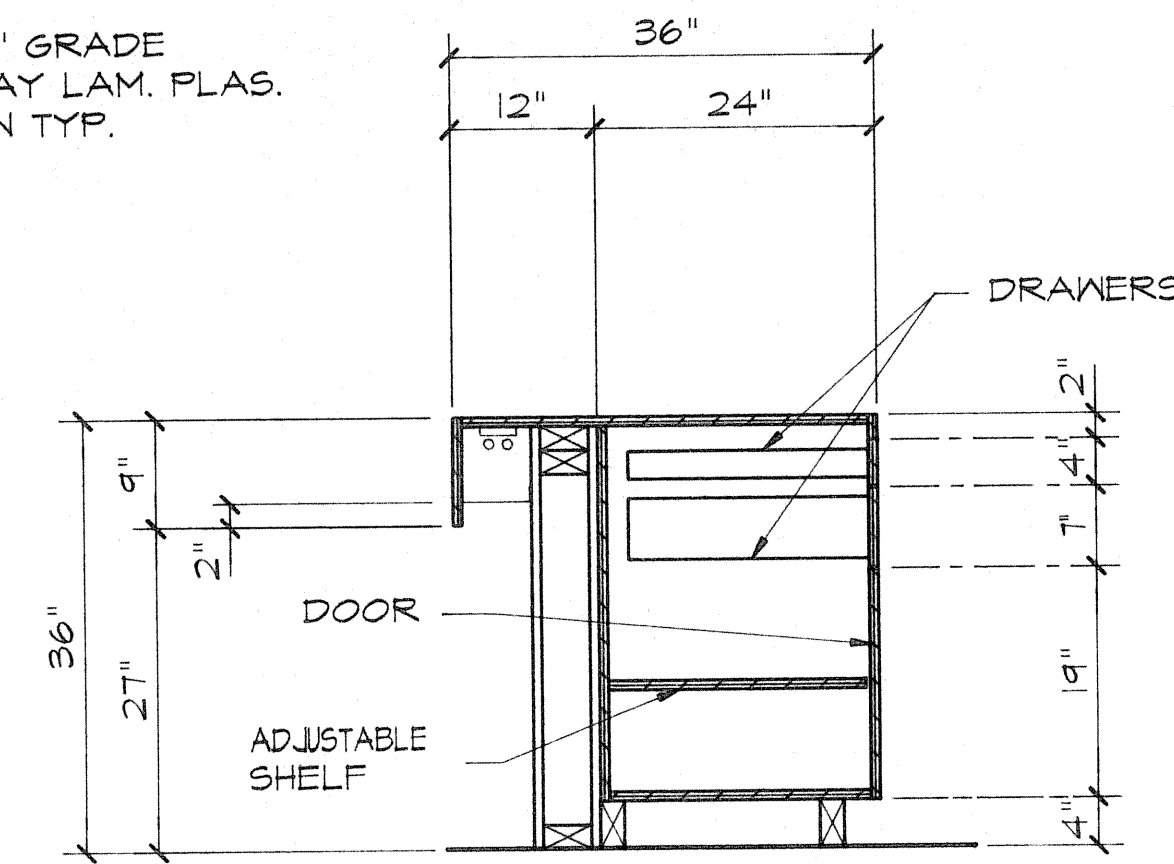
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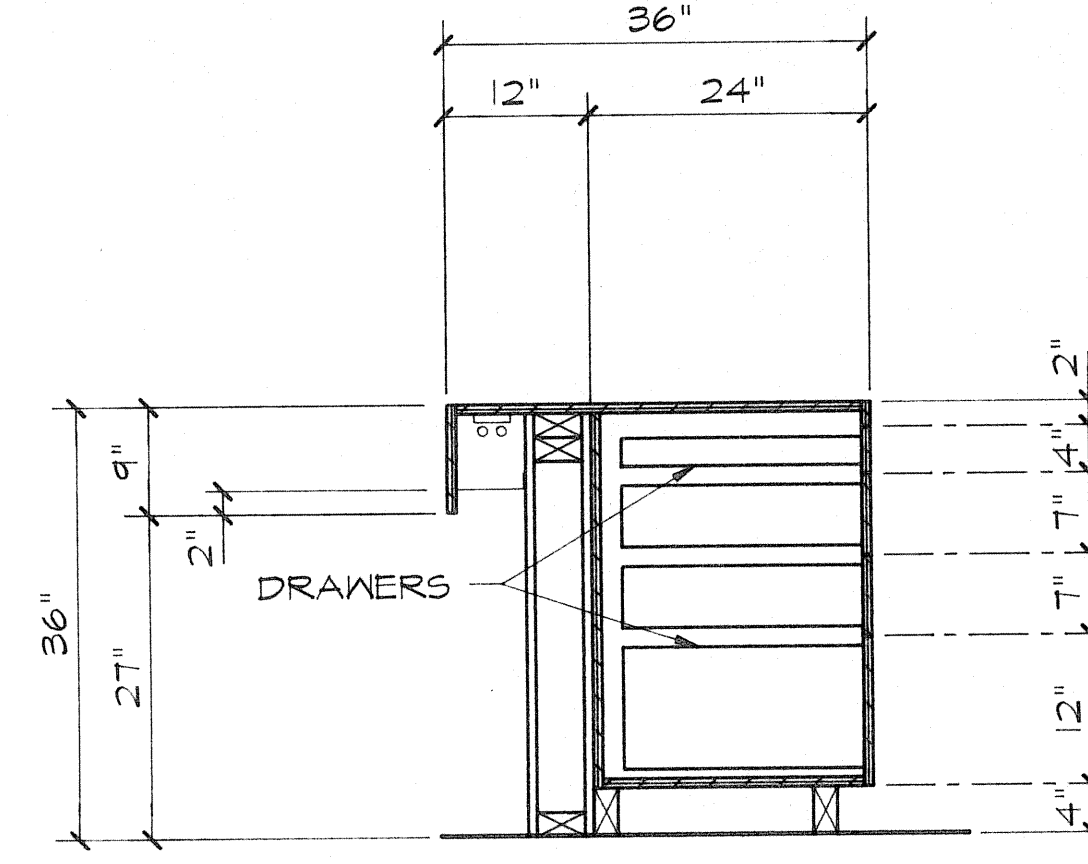


SECTION A  
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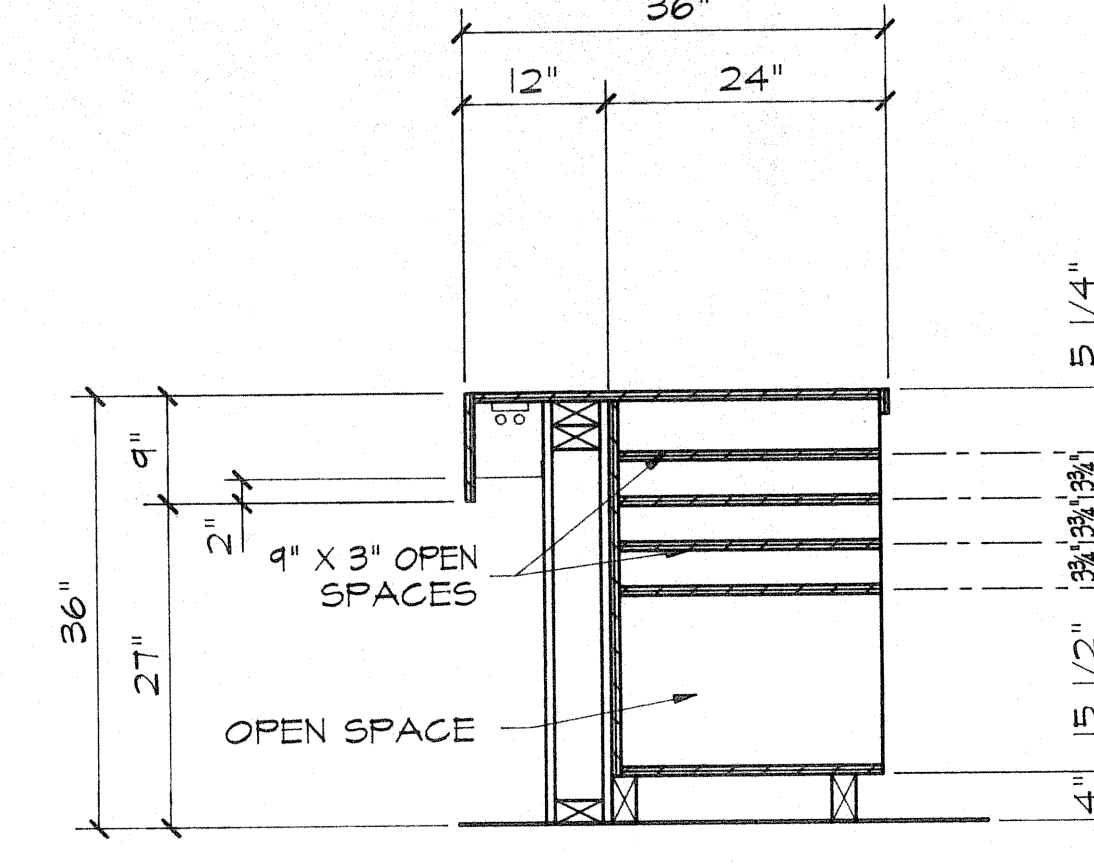
W.I.C. "CUSTOM" GRADE  
FLUSH OVERLAY LAM. PLAS.  
CONSTRUCTION TYP.



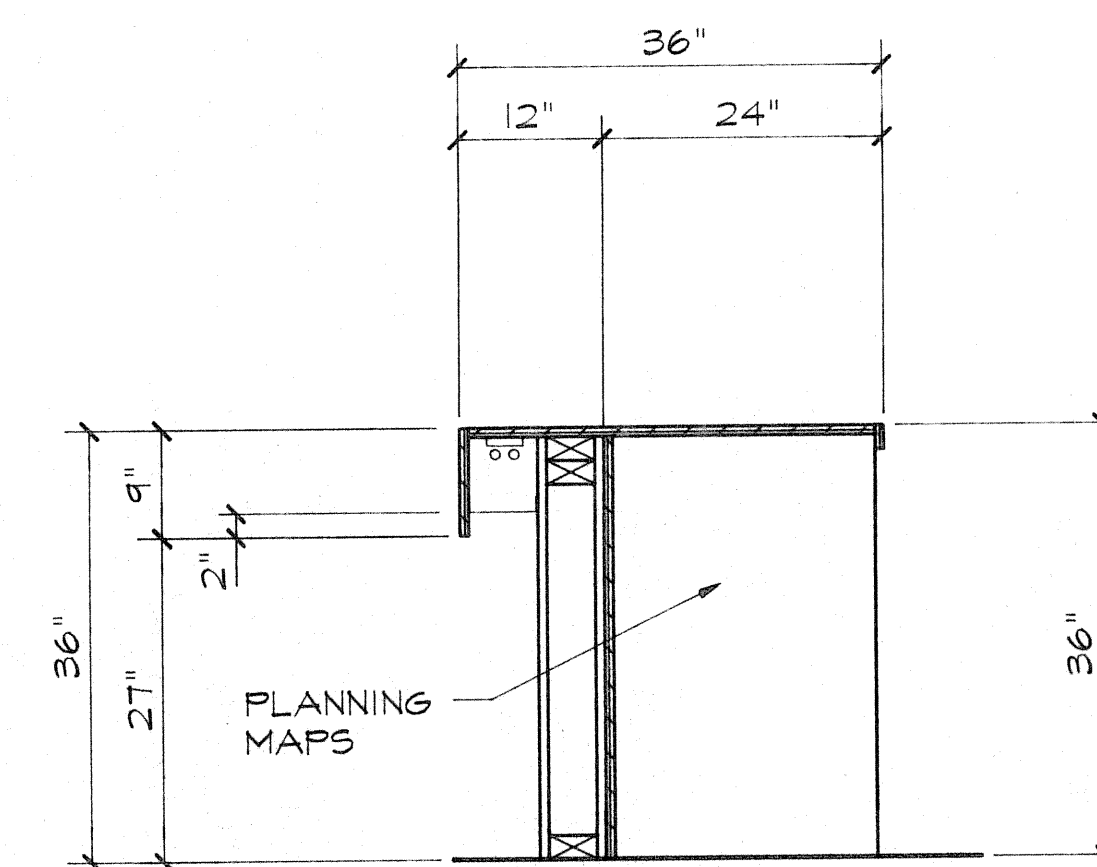
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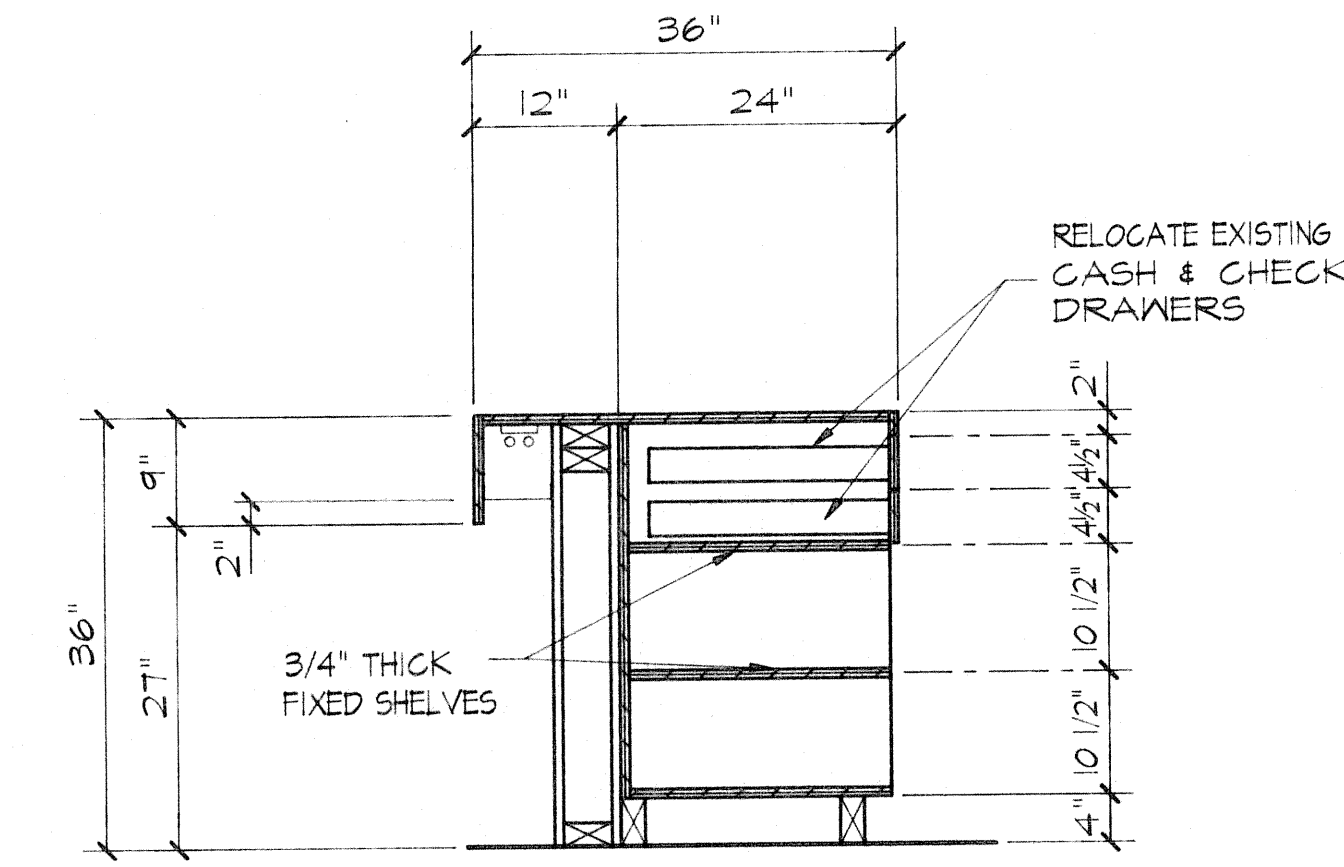
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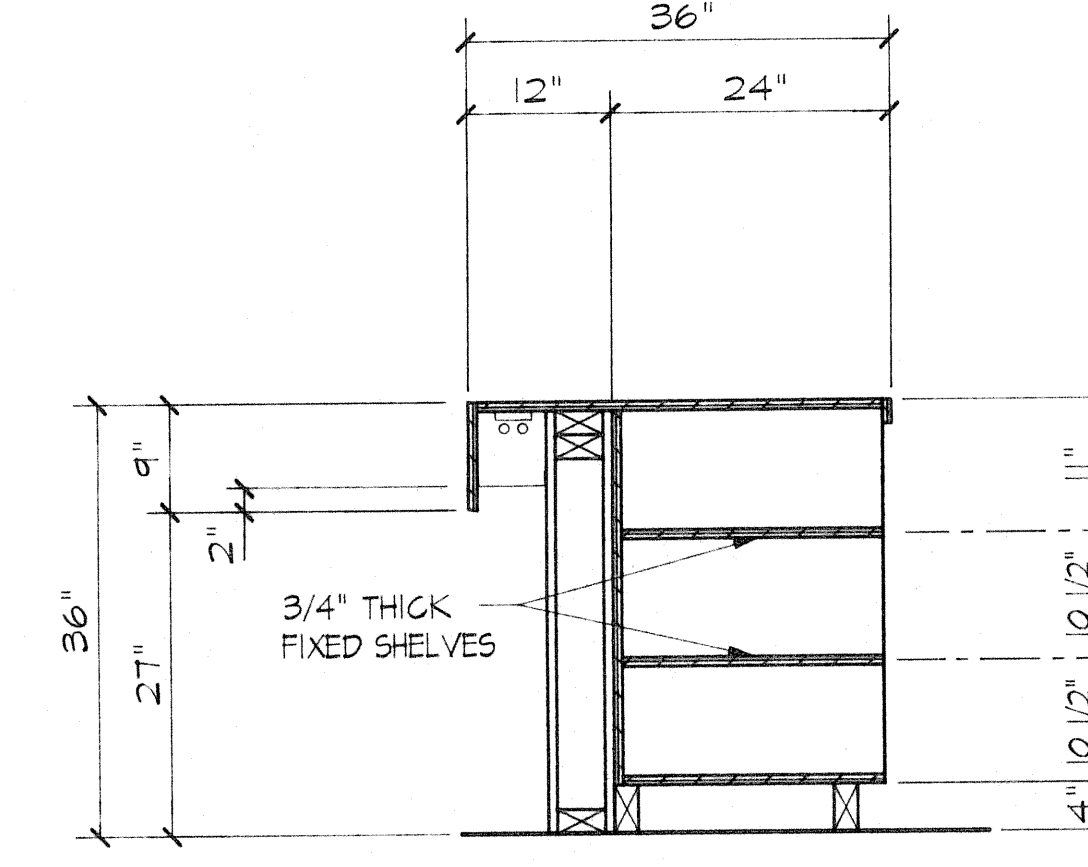
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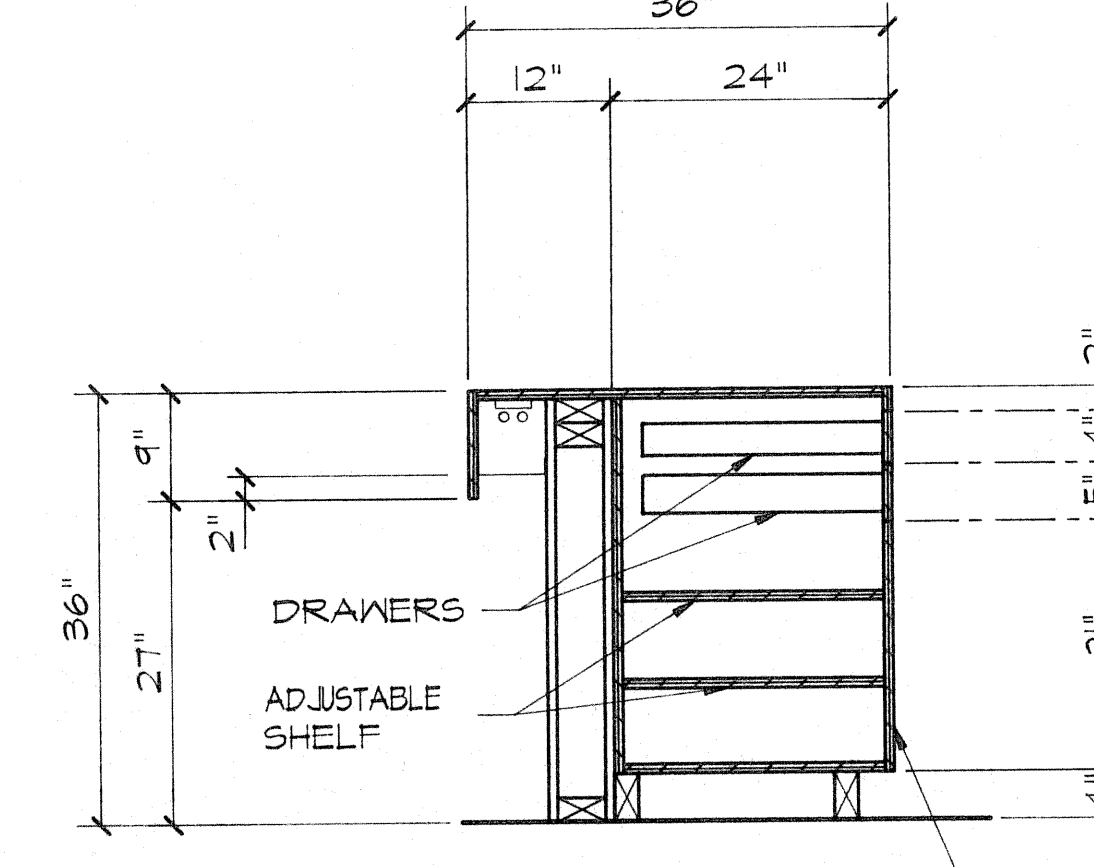
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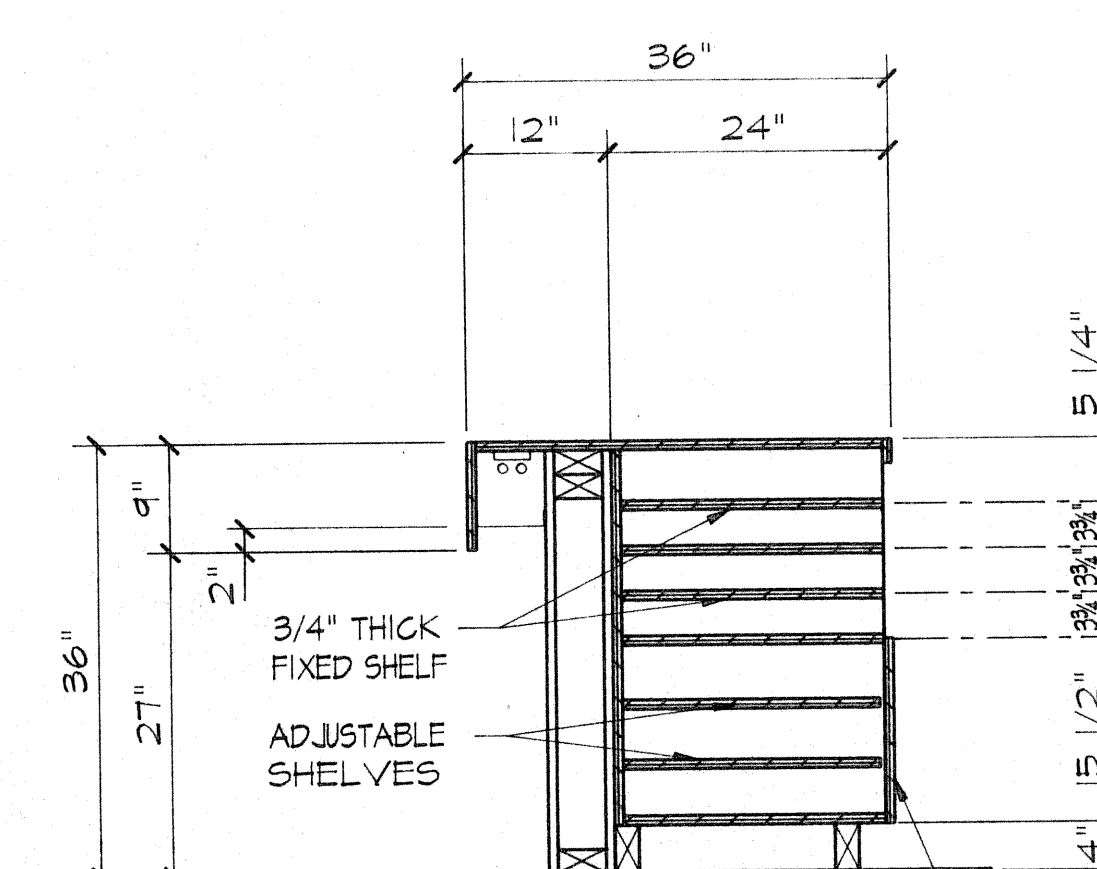
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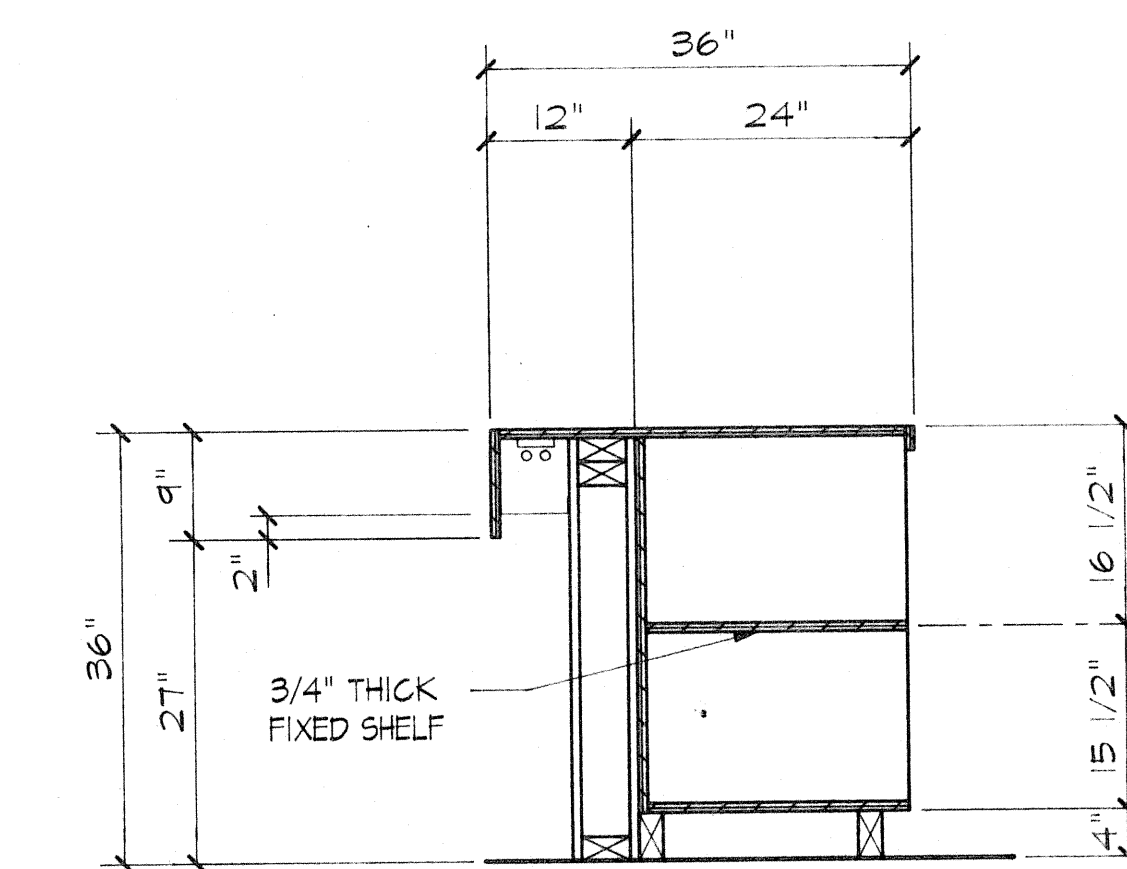
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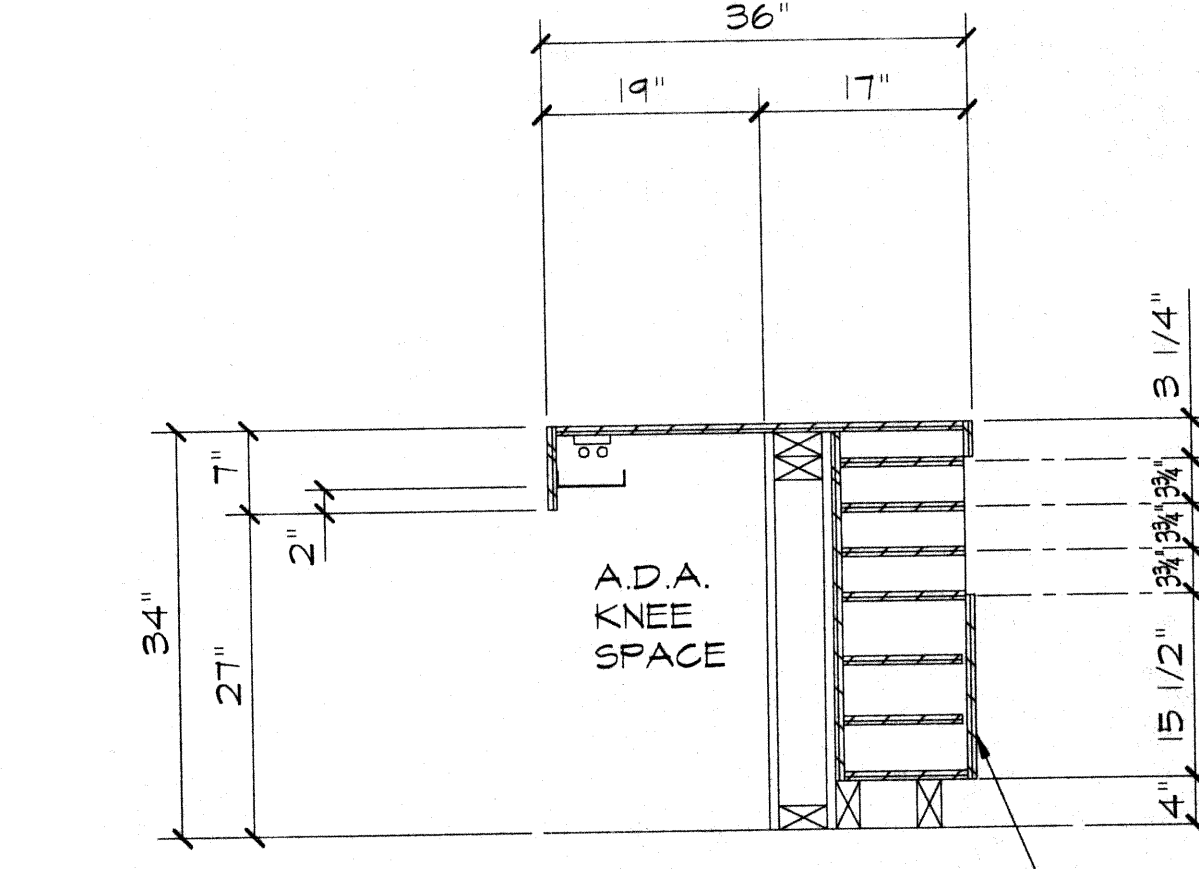
SECTION H  
3/4" = 1'-0"



SECTION J  
3/4" = 1'-0"



SECTION K  
3/4" = 1'-0"



SECTION L  
3/4" = 1'-0"

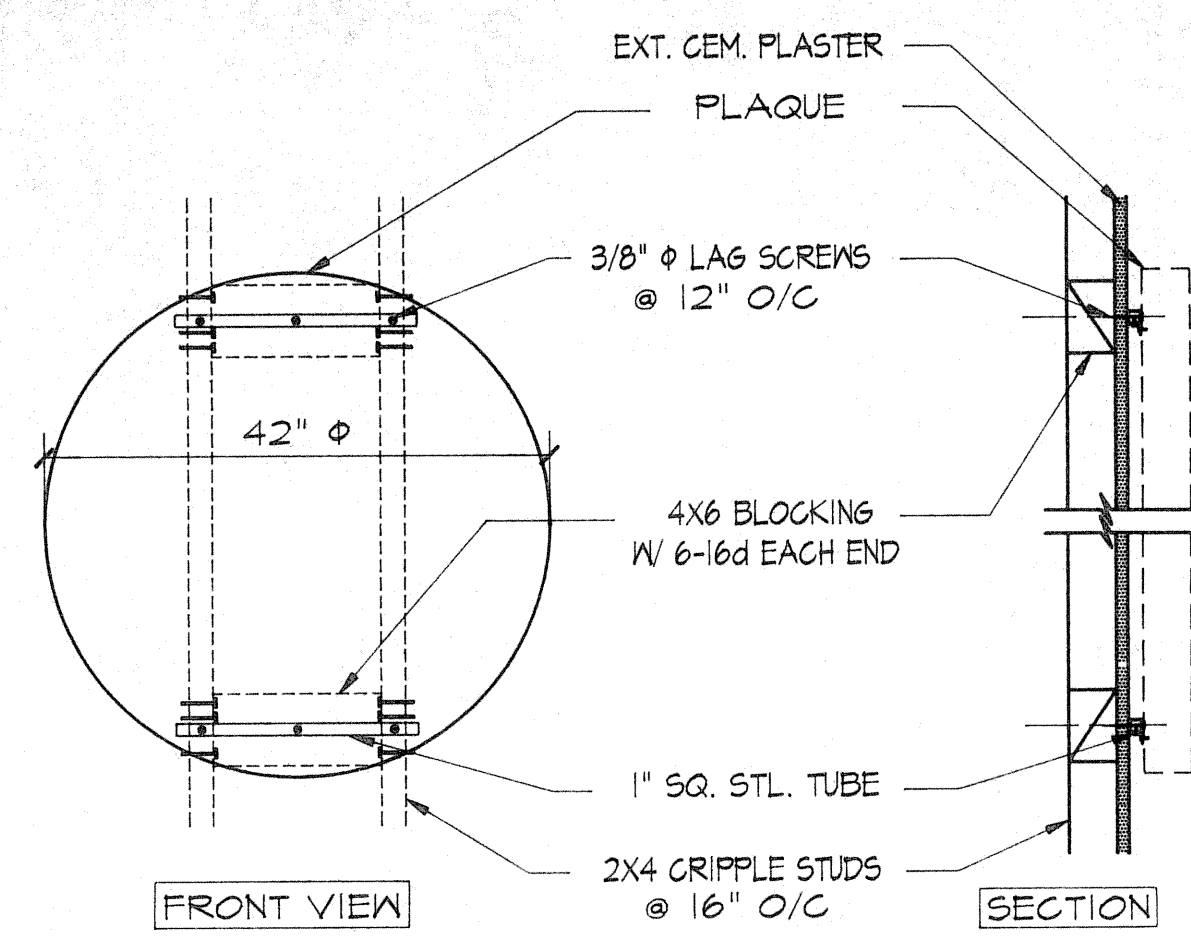
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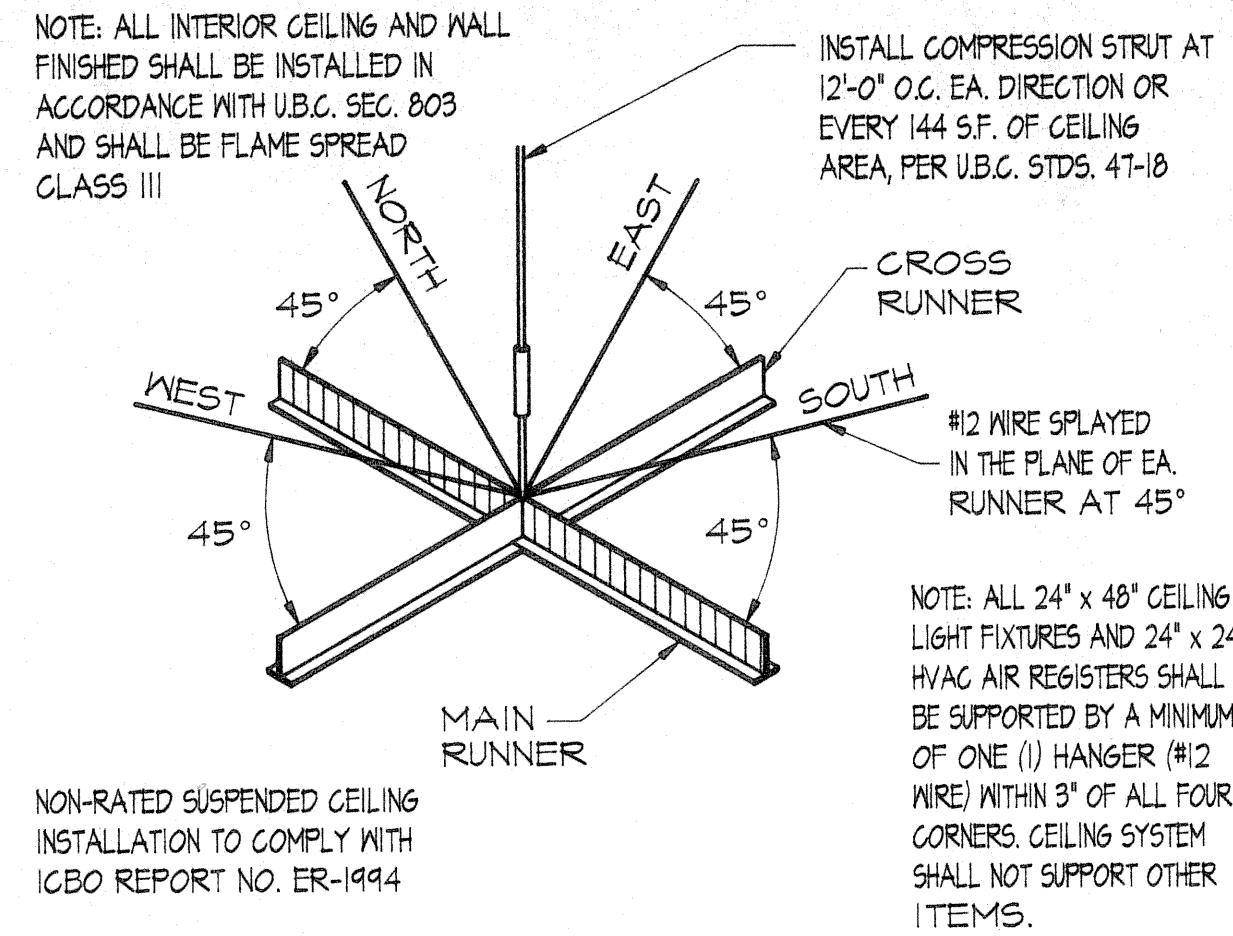
**Cabinet  
Sections**

**A-11**

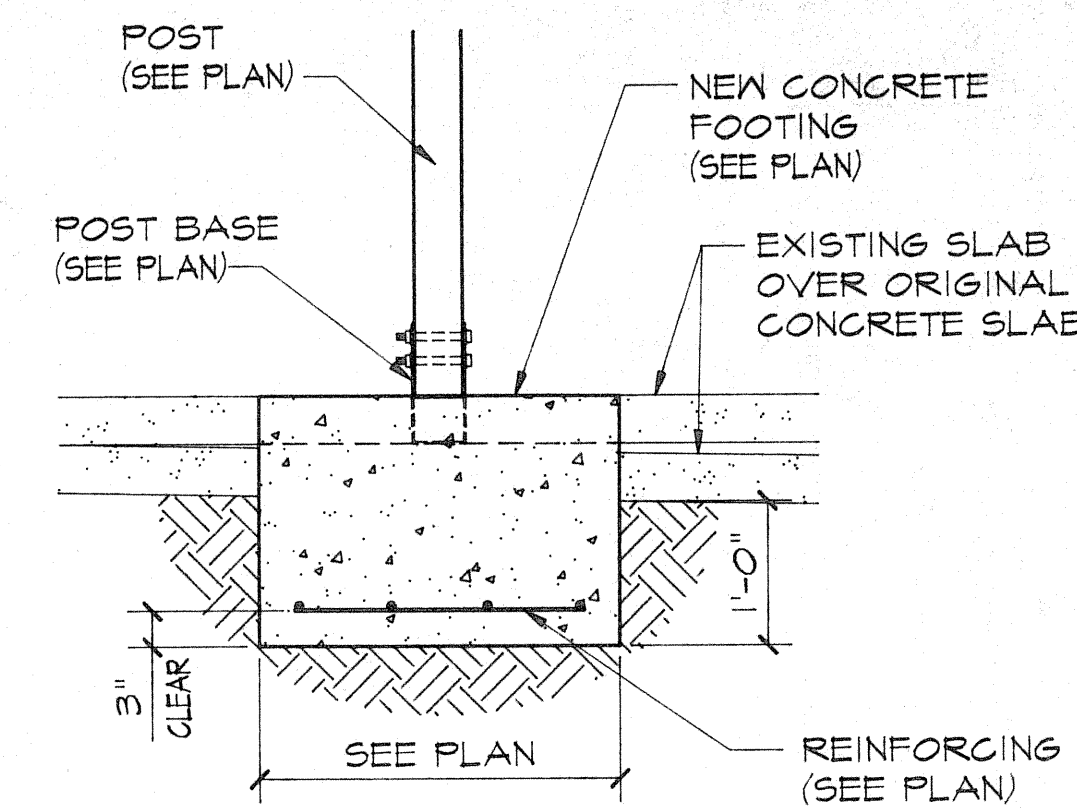




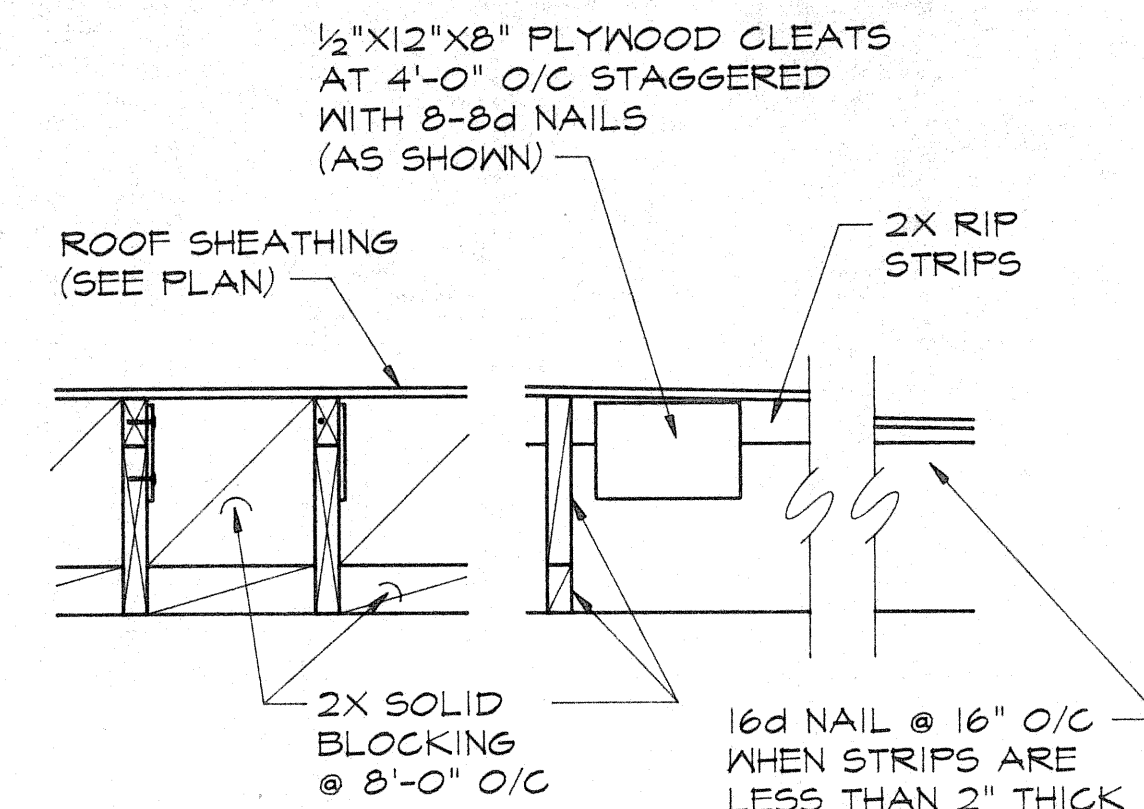
16 PLAQUE CONNECTION  
3/4" = 1'-0"



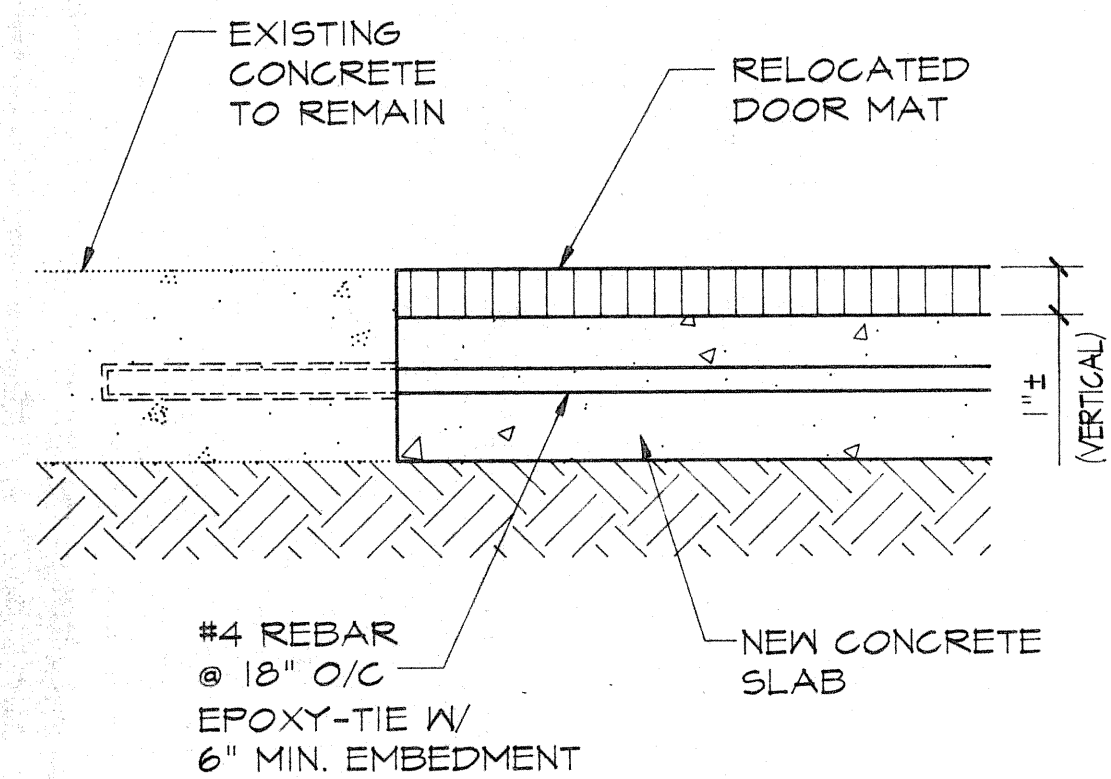
15 SUSPENDED CEILING BRACING  
1 1/2" = 1'-0"



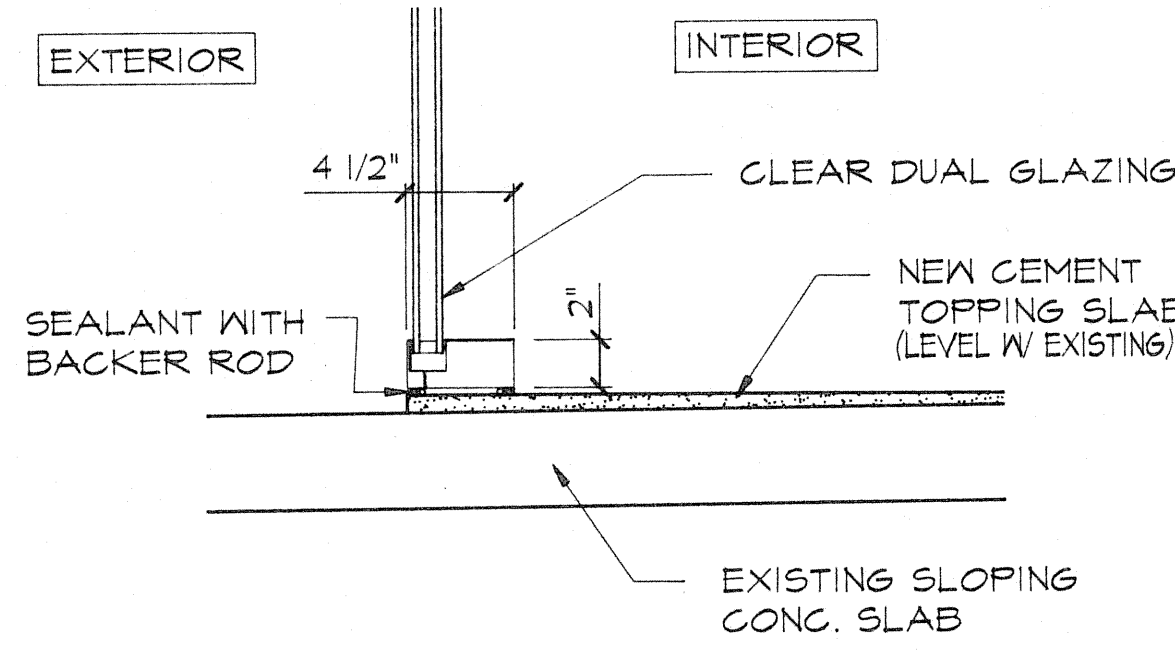
6 PAD FOOTING  
3/4" = 1'-0"



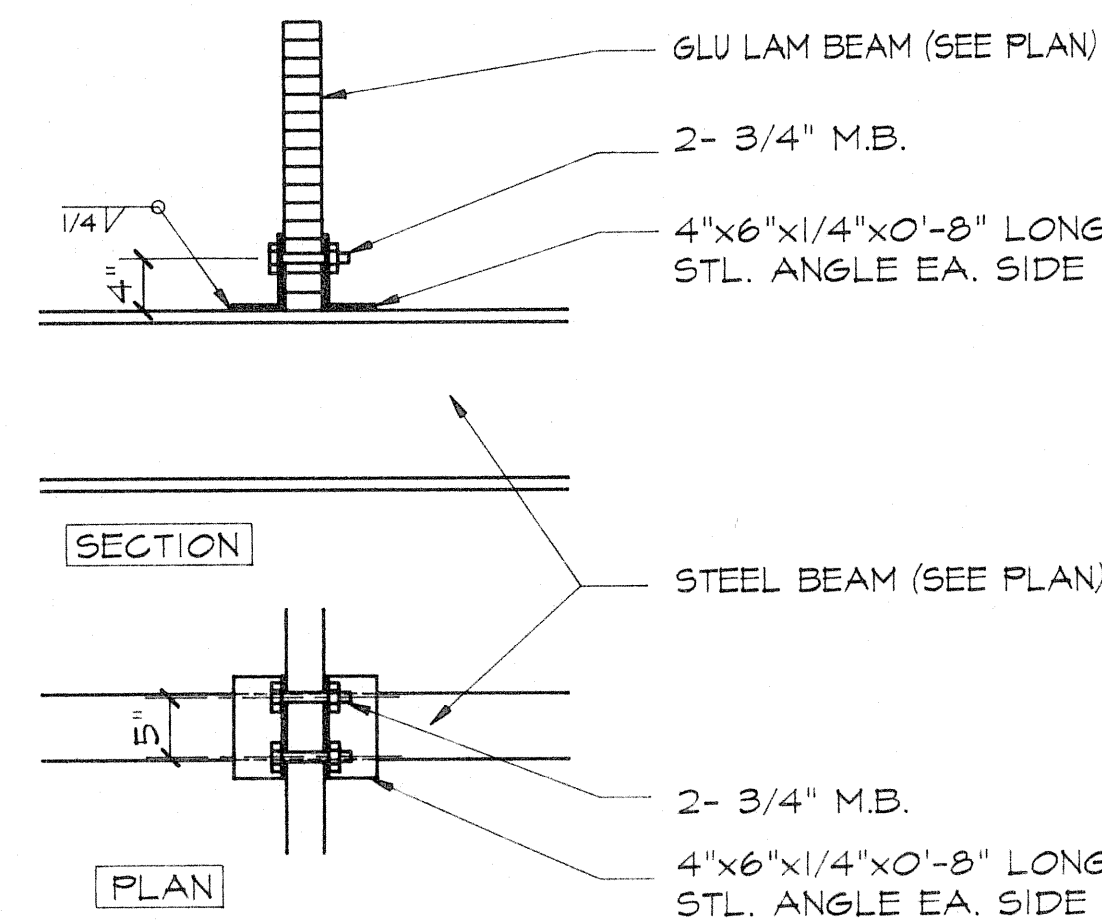
5 ROOF RIP STRIPS  
3/4" = 1'-0"



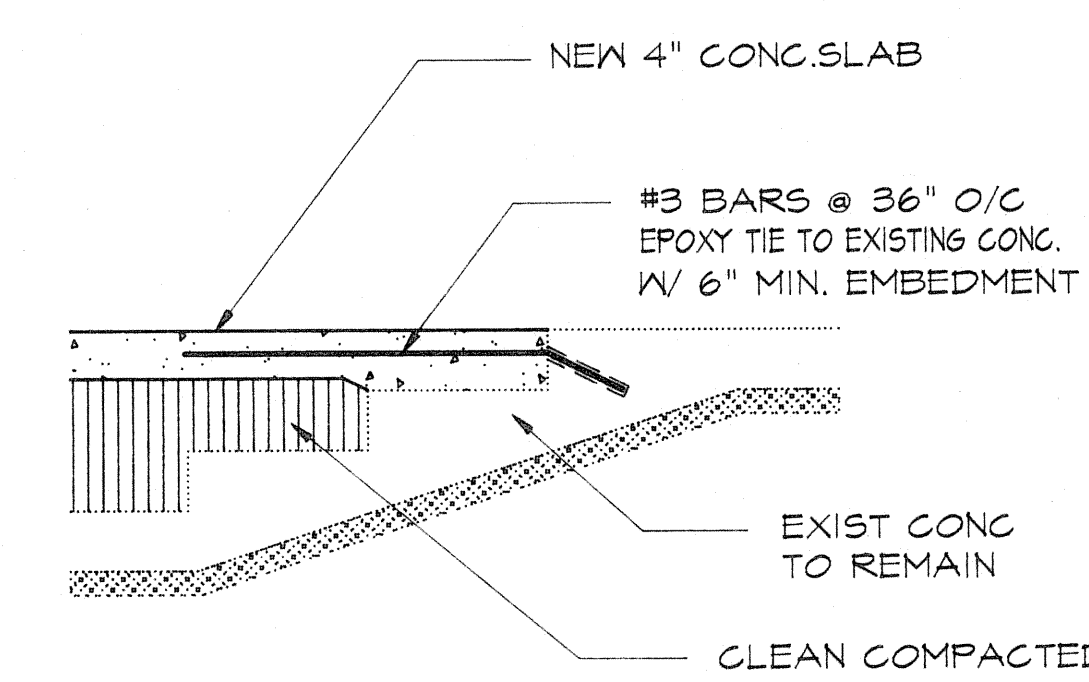
20 FLUSH DOORMAT  
3" = 1'-0"



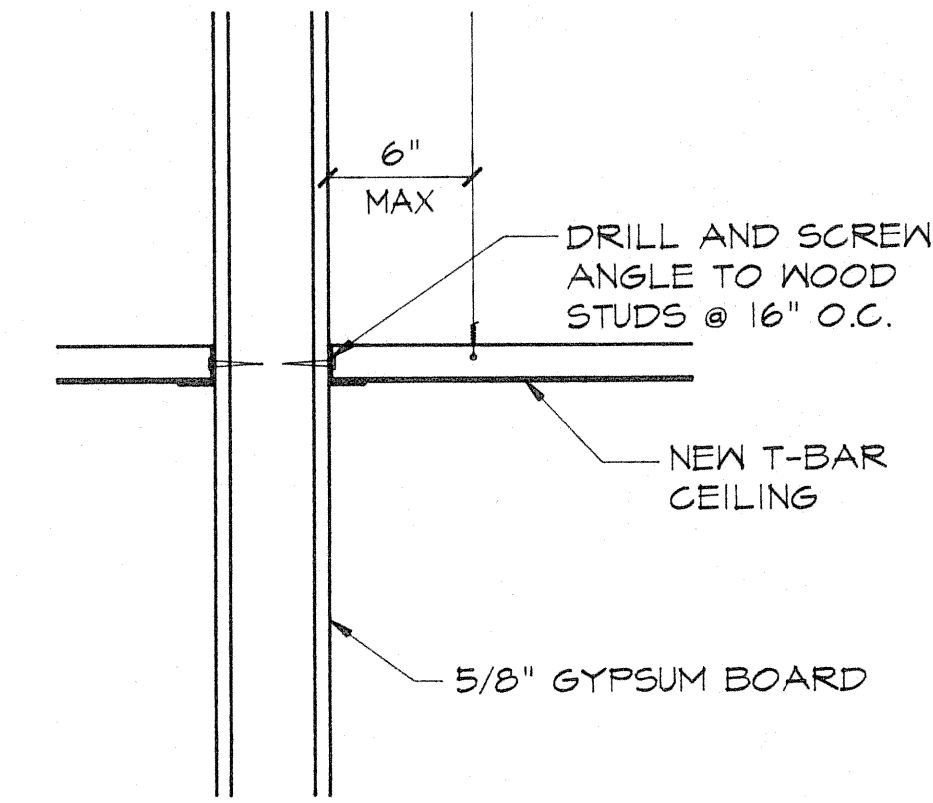
17 WINDOW SILL  
1/2" = 1'-0"



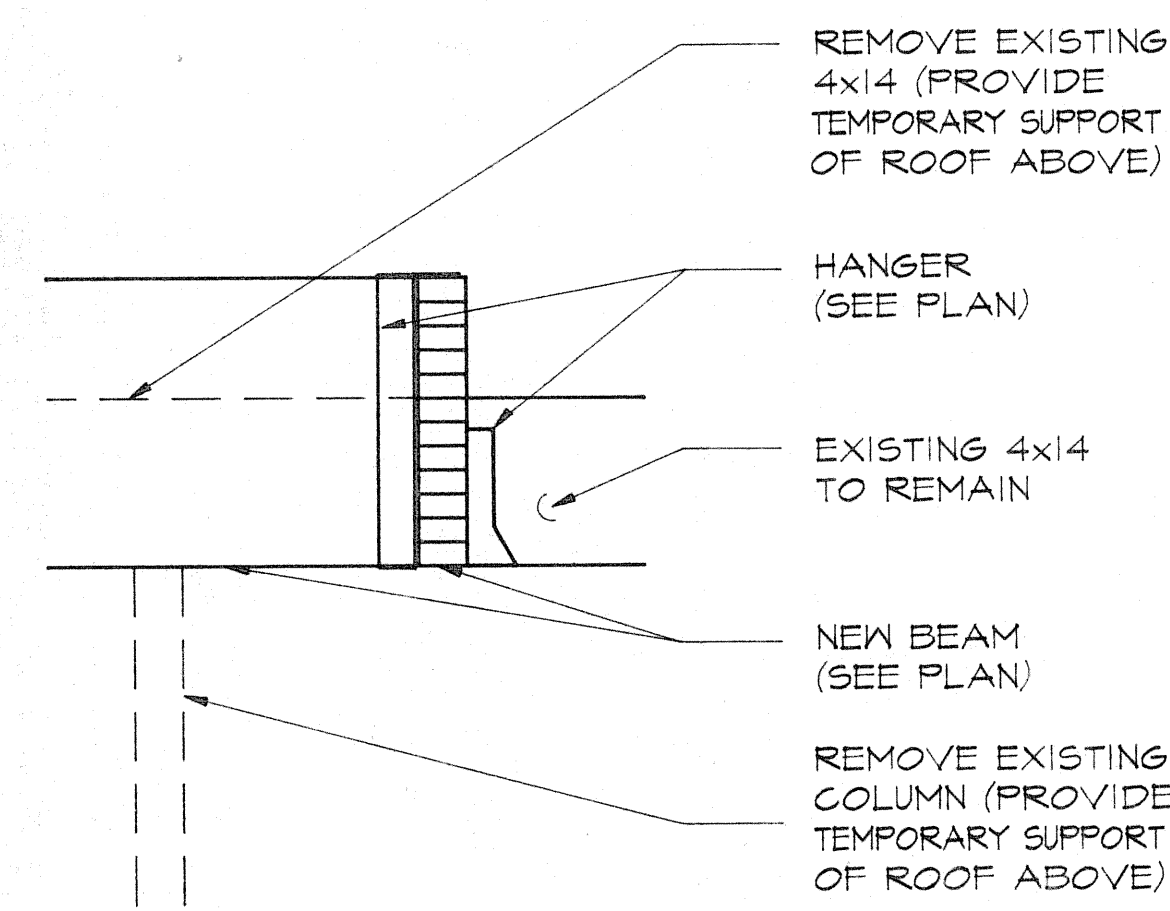
14 BEAM CONNECTION  
3/4" = 1'-0"



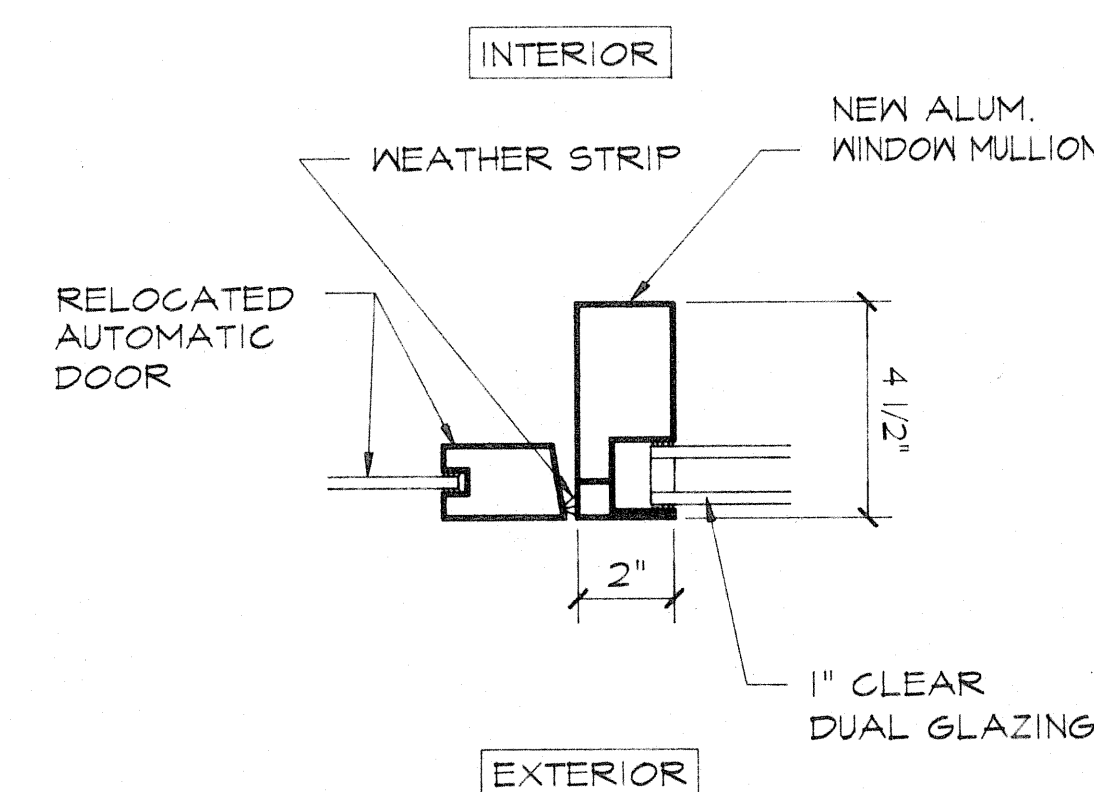
7 NEW SLAB TO EXIST  
3/4" = 1'-0"



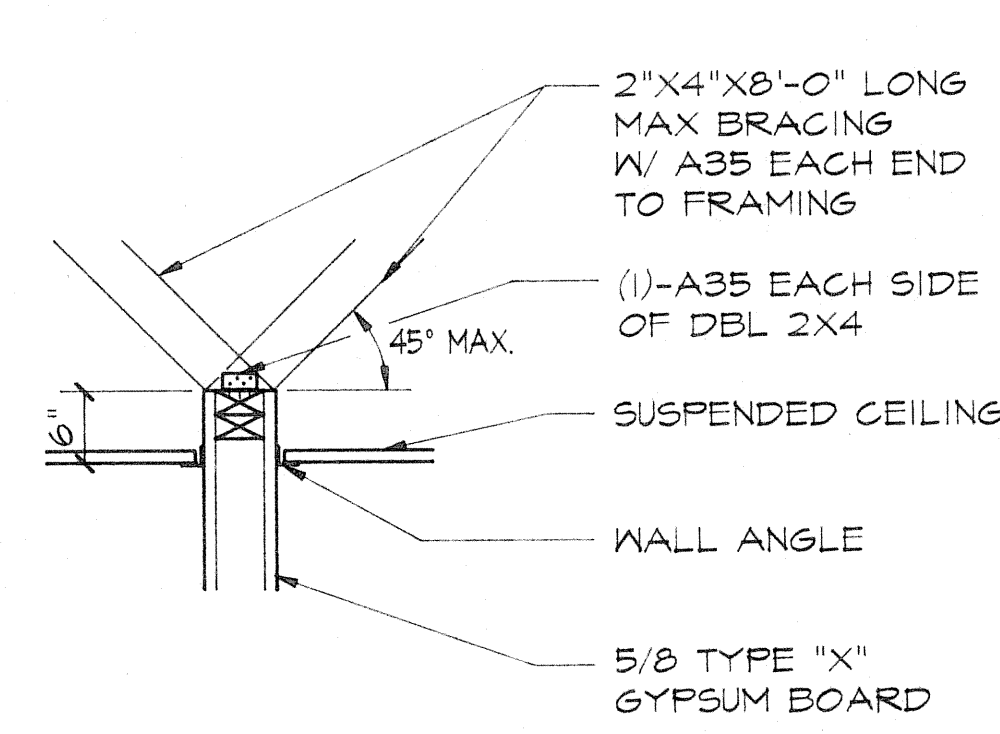
4 T-BAR AT WALL  
1/2" = 1'-0"



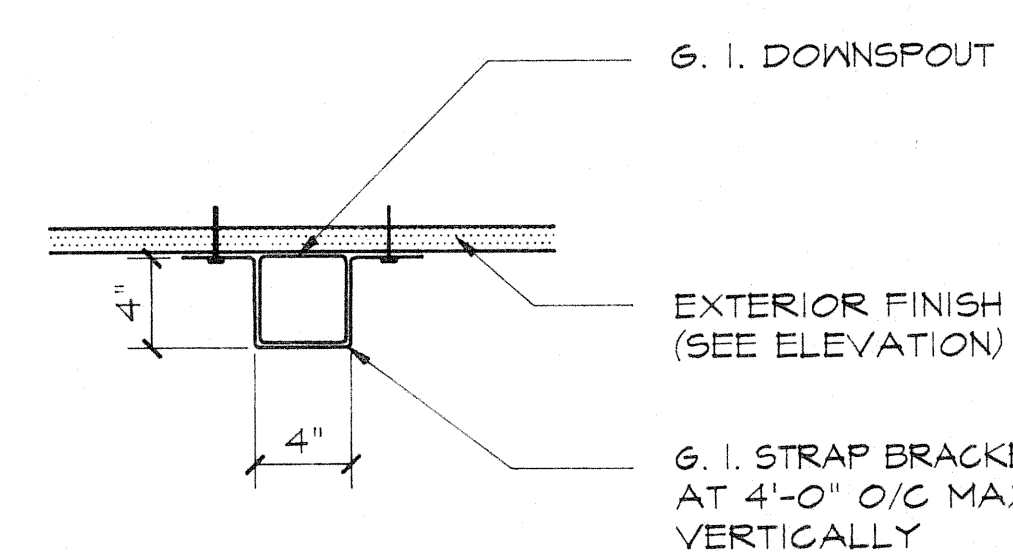
19 BEAM TO BEAM CONNECTION  
3/4" = 1'-0"



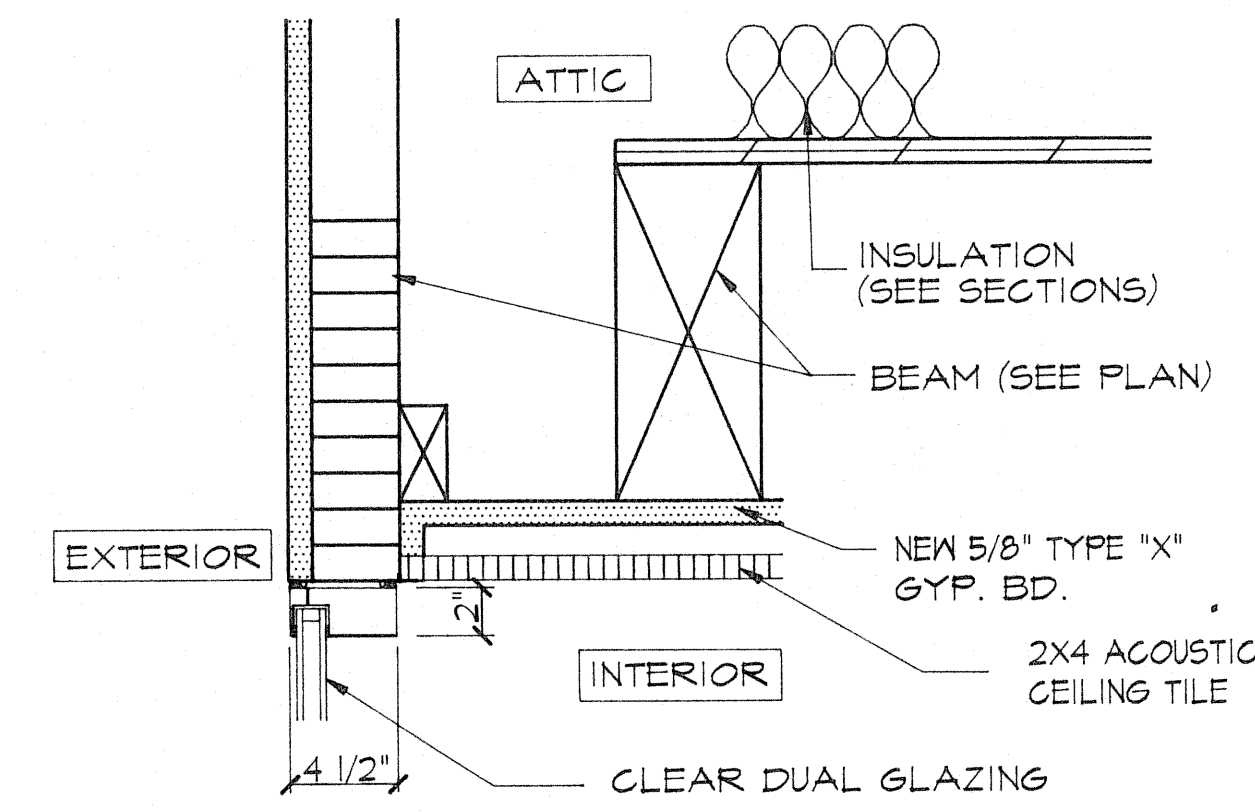
18 WINDOW / DOOR JAMB  
3" = 1'-0"



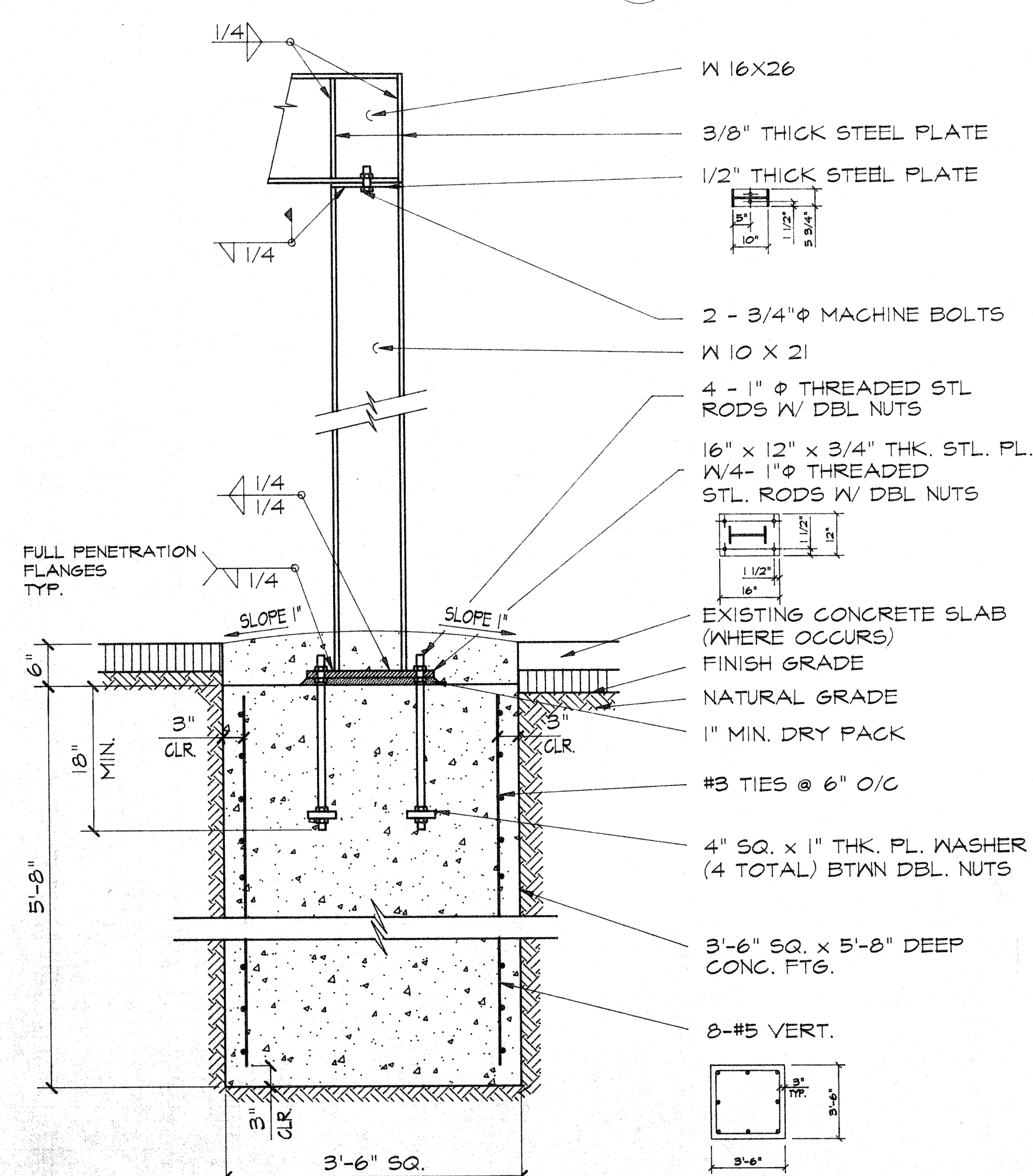
13 WALL BRACING  
3/4" = 1'-0"



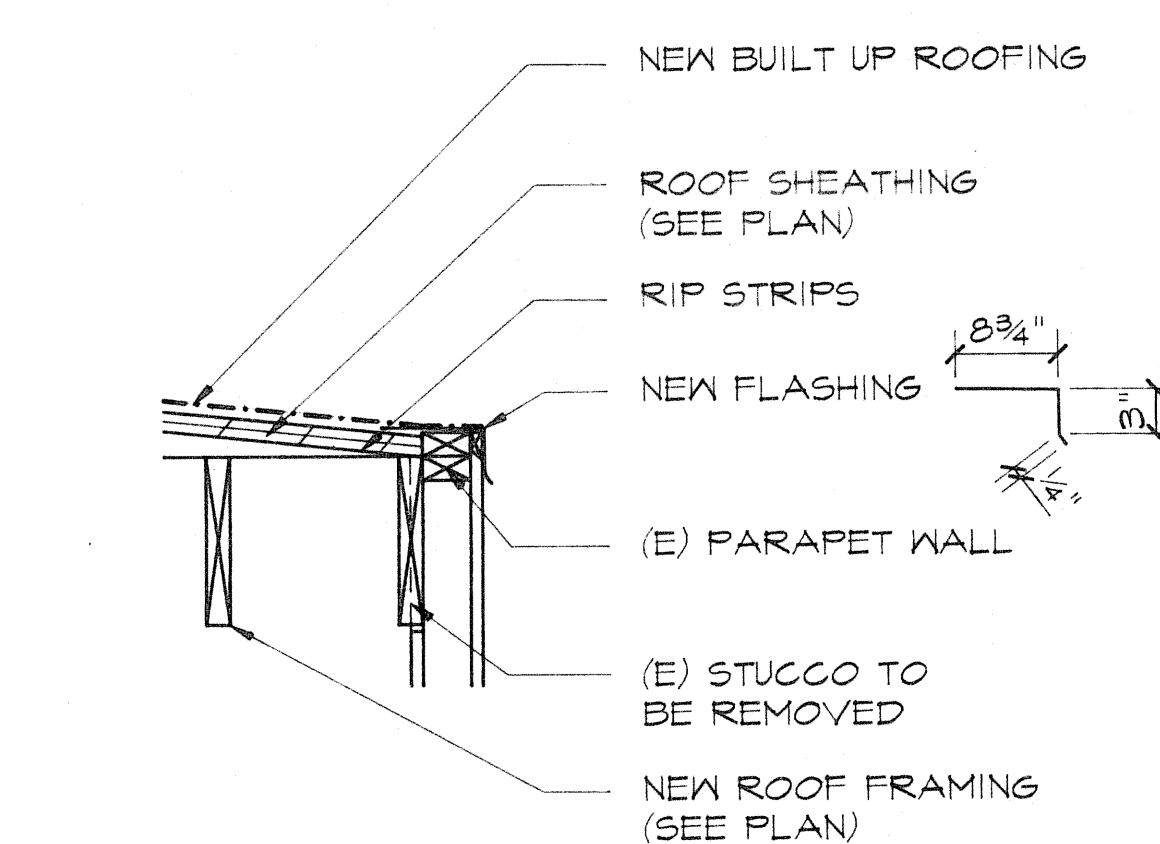
8 DOWNSPOUT @ WALL  
1 1/2" = 1'-0"



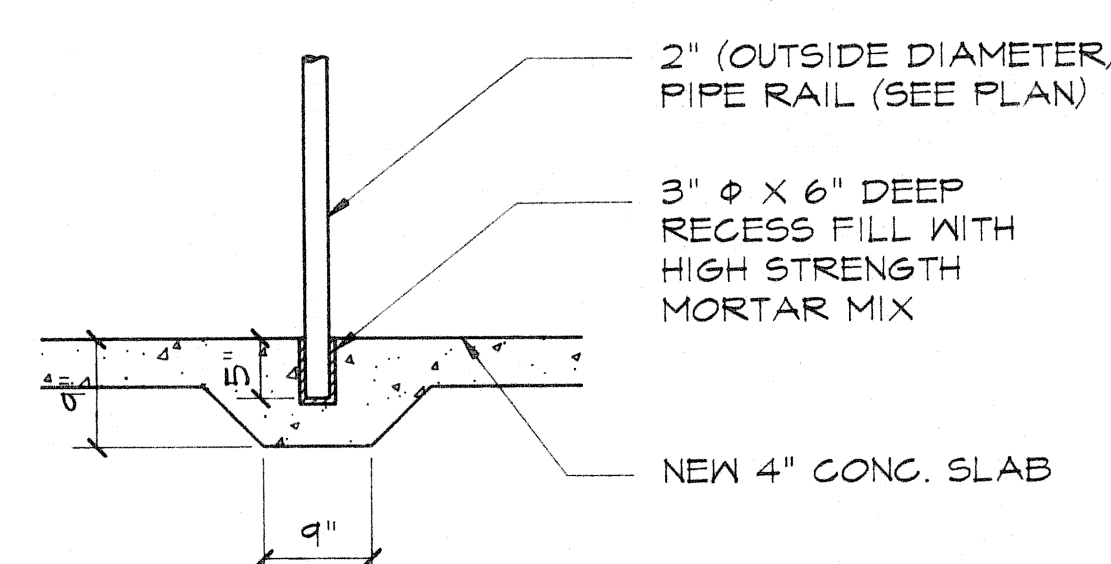
3 T-BAR AT WINDOW  
1/2" = 1'-0"



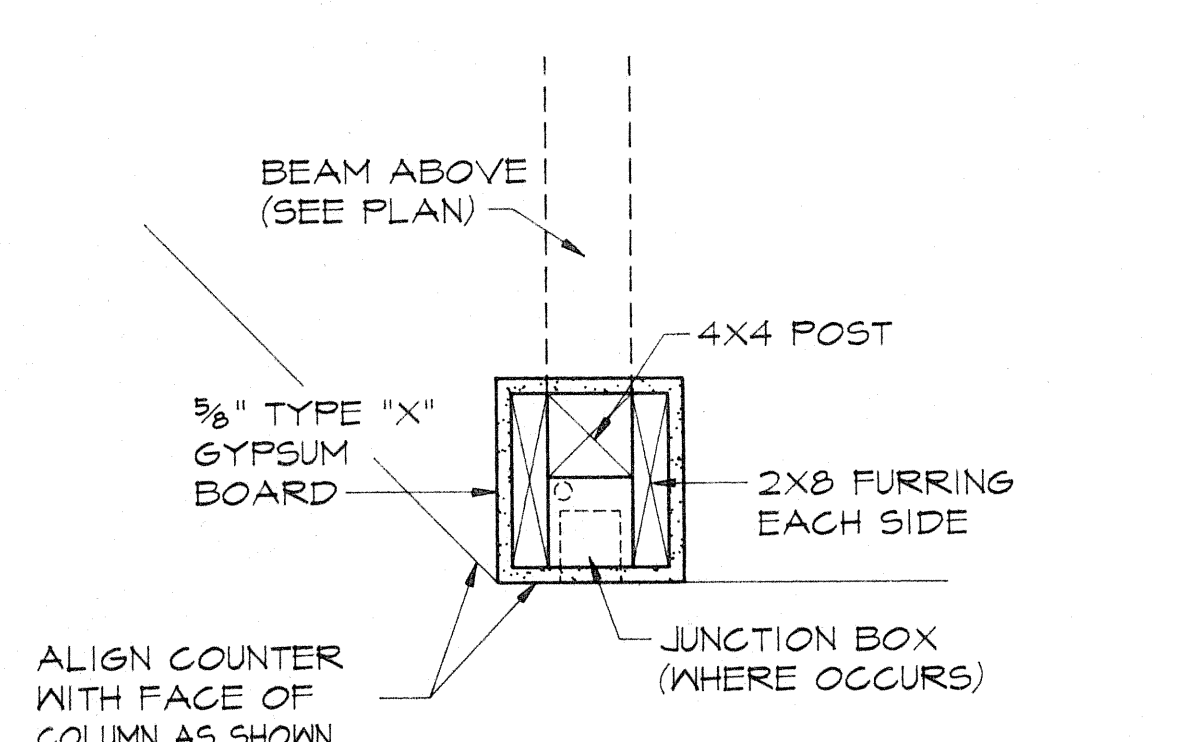
22 STEEL COLUMN DETAIL  
3/4" = 1'-0"



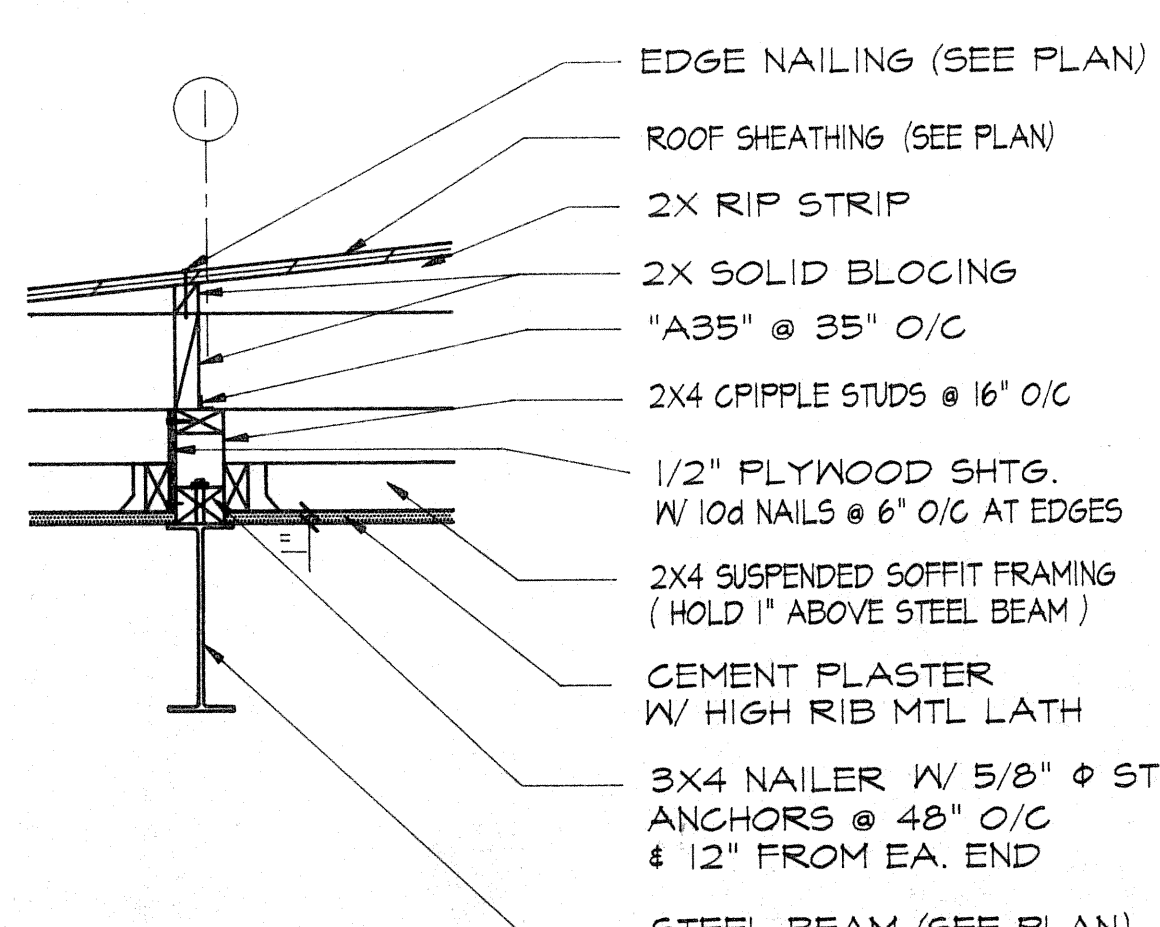
12 TOP OF CANOPY @ PARAPET WALL  
3/4" = 1'-0"



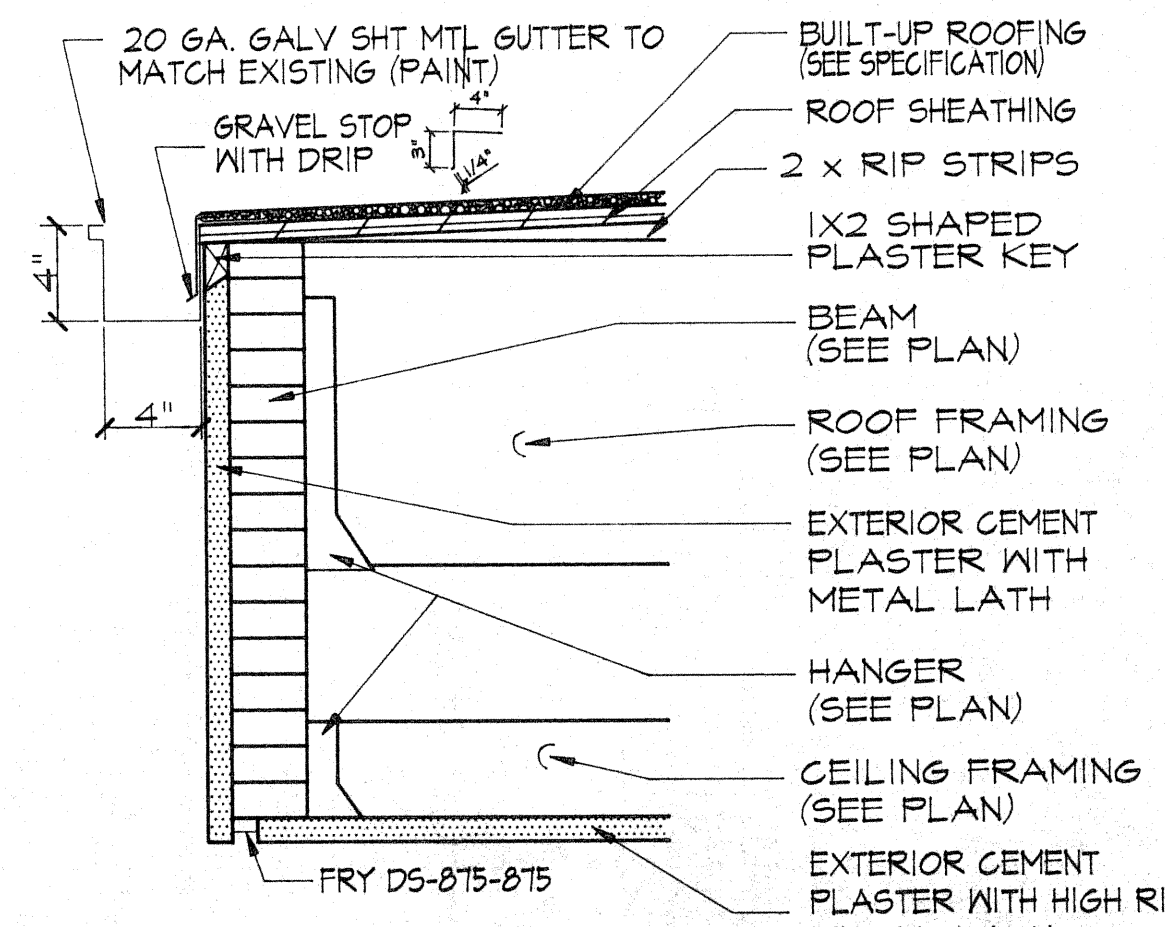
9 HANDRAIL TO NEW CONCRETE  
3/4" = 1'-0"



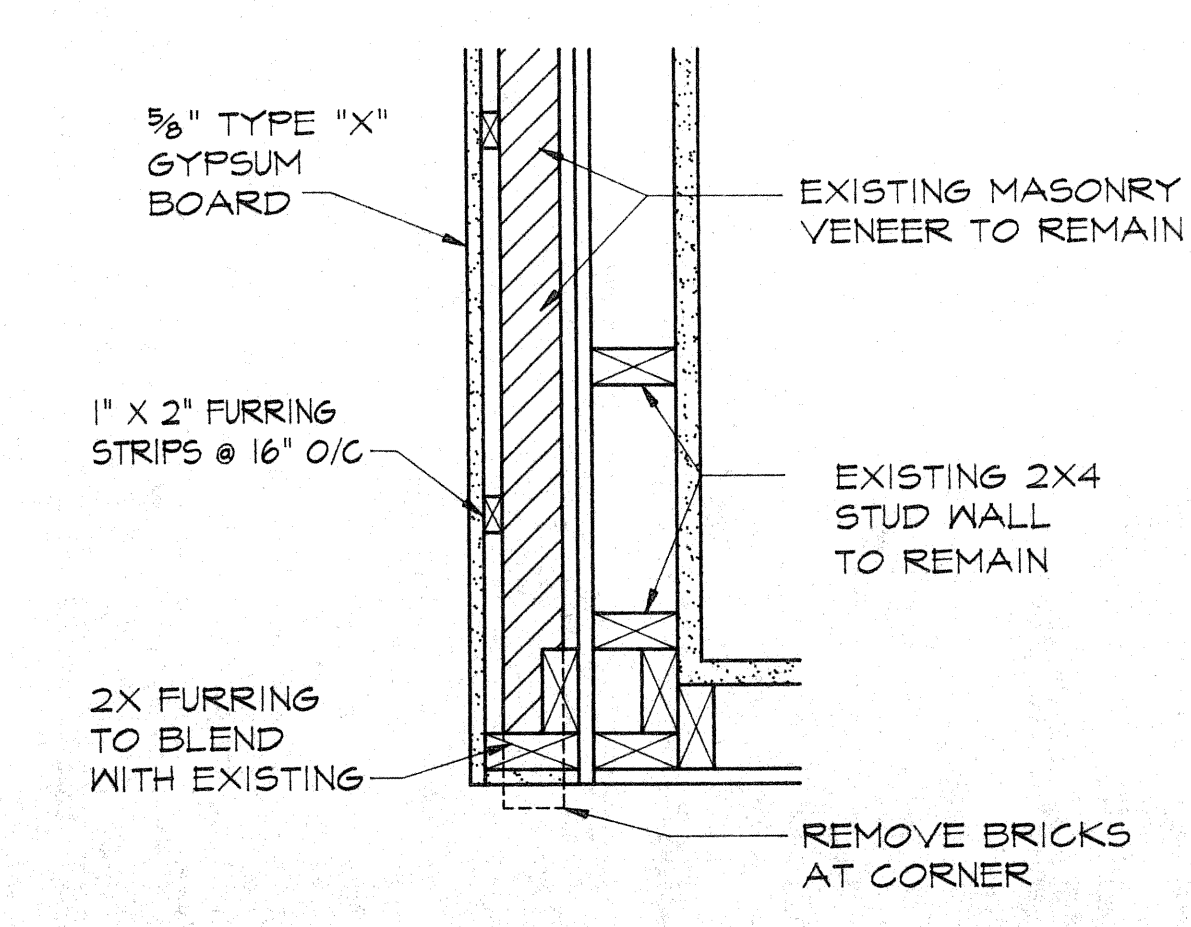
2 COLUMN DETAIL  
1/2" = 1'-0"



11 CRIPPLE WALL ABOVE BEAM  
3/4" = 1'-0"



10 EAVE DETAIL  
1 1/2" = 1'-0"



1 CORNER DETAIL  
1/2" = 1'-0"

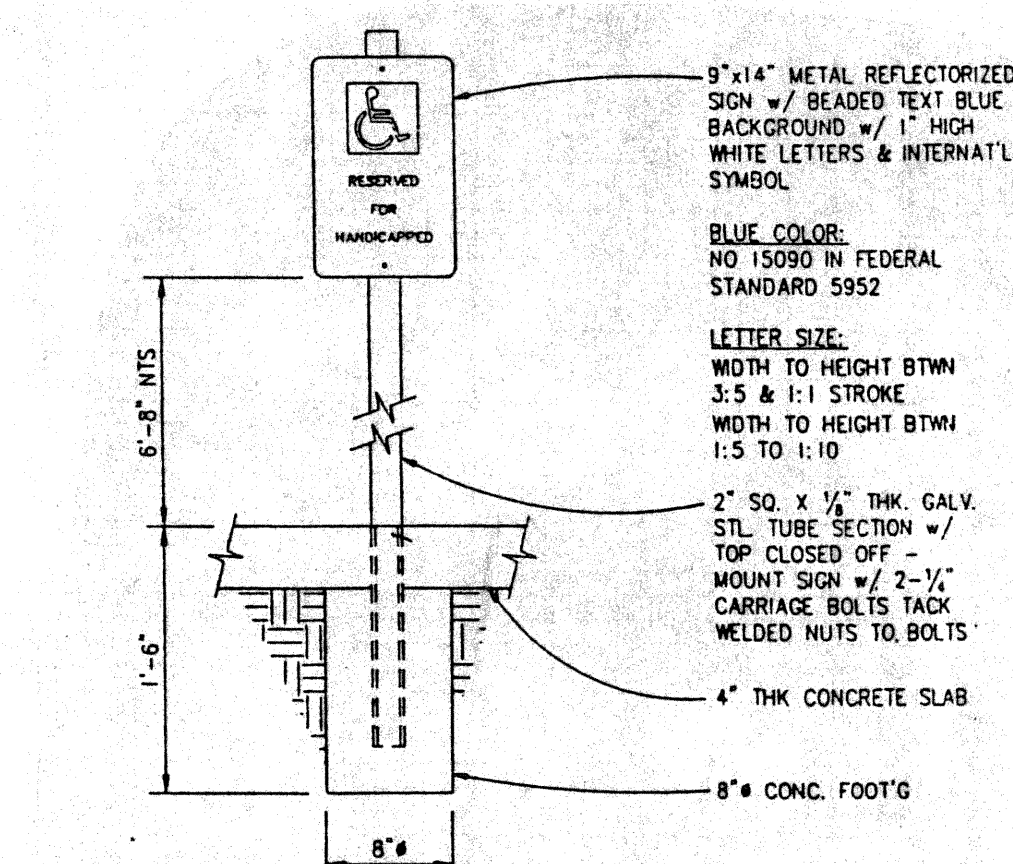
Proposed Remodel for:  
**Fontana City Hall**  
8333 Sierra Avenue, Fontana, CA 92335

DATE	4 Oct., 1996	8 NOV. 1996
PROJECT	96-164	20 NOV. 1996

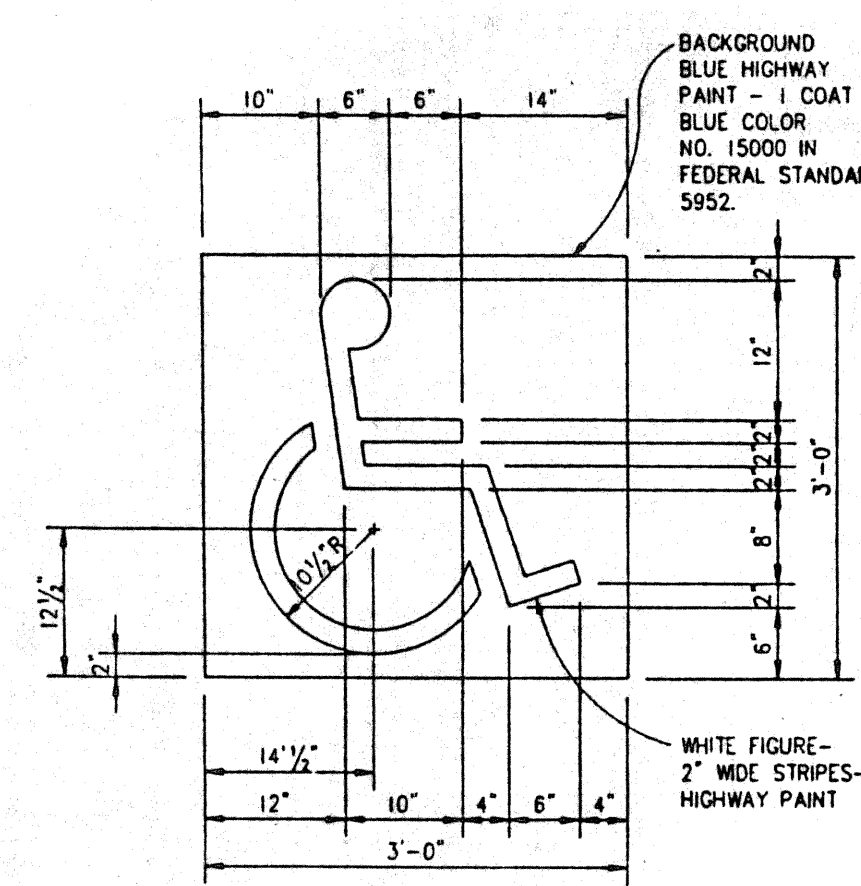
Details

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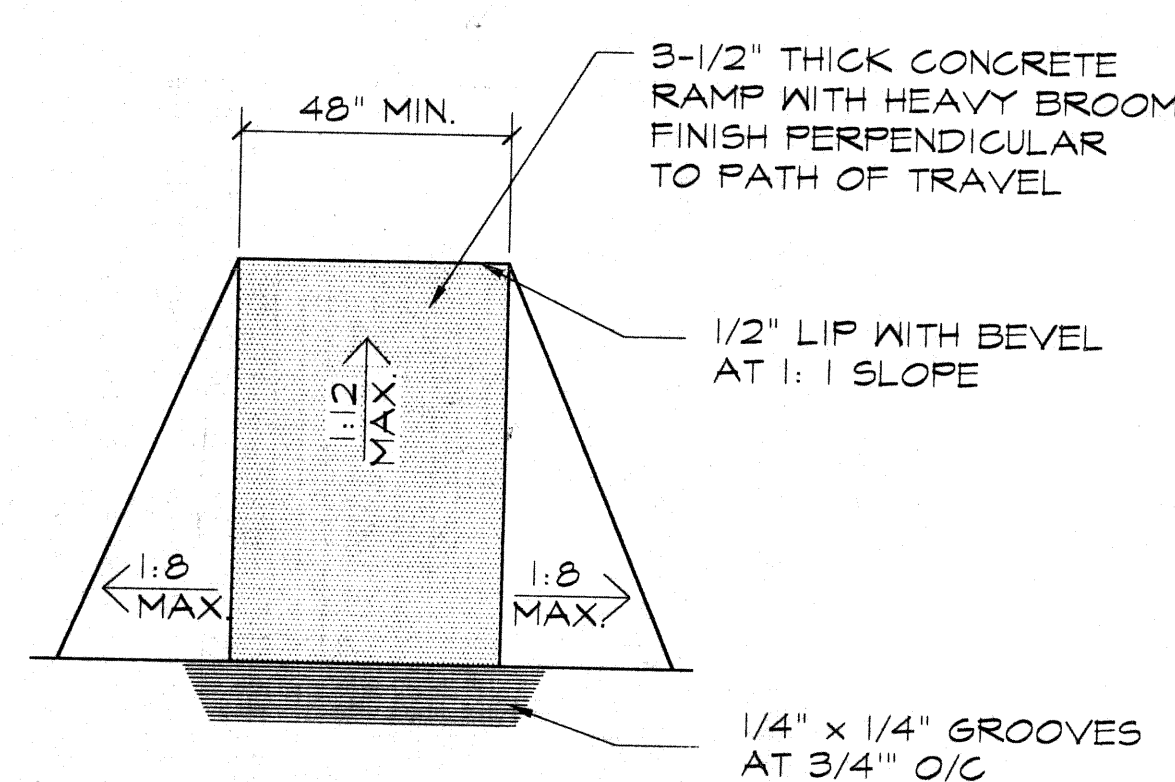




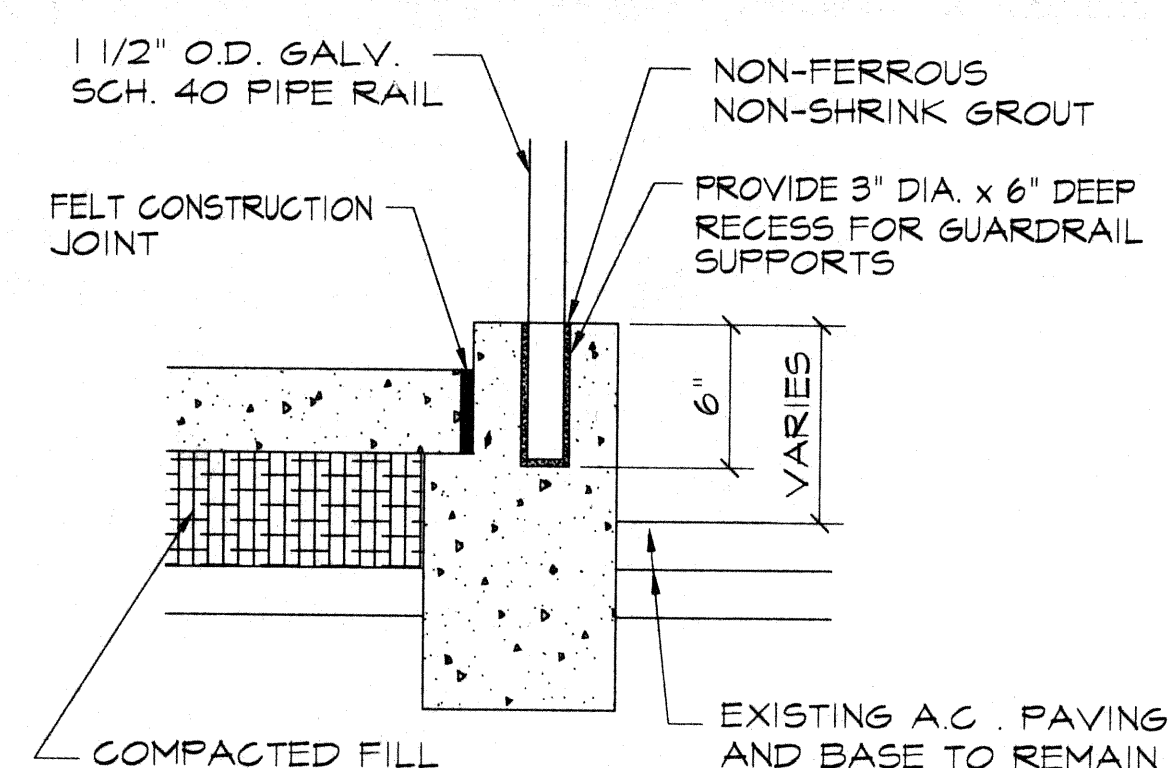
15 SPACE PARKING SIGN  
NO SCALE



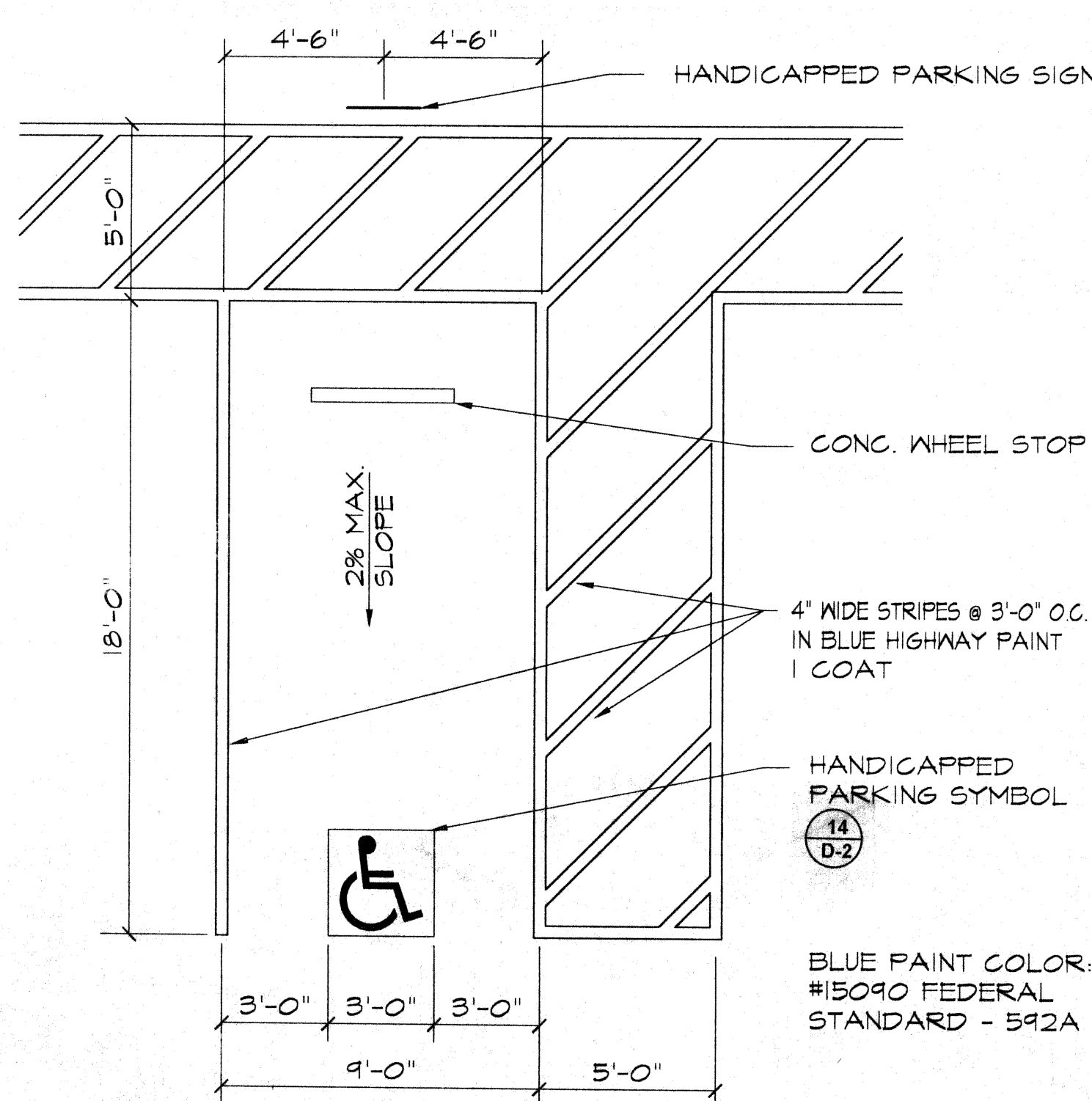
14 PAINTED SYMBOL  
3/4" = 1'-0"



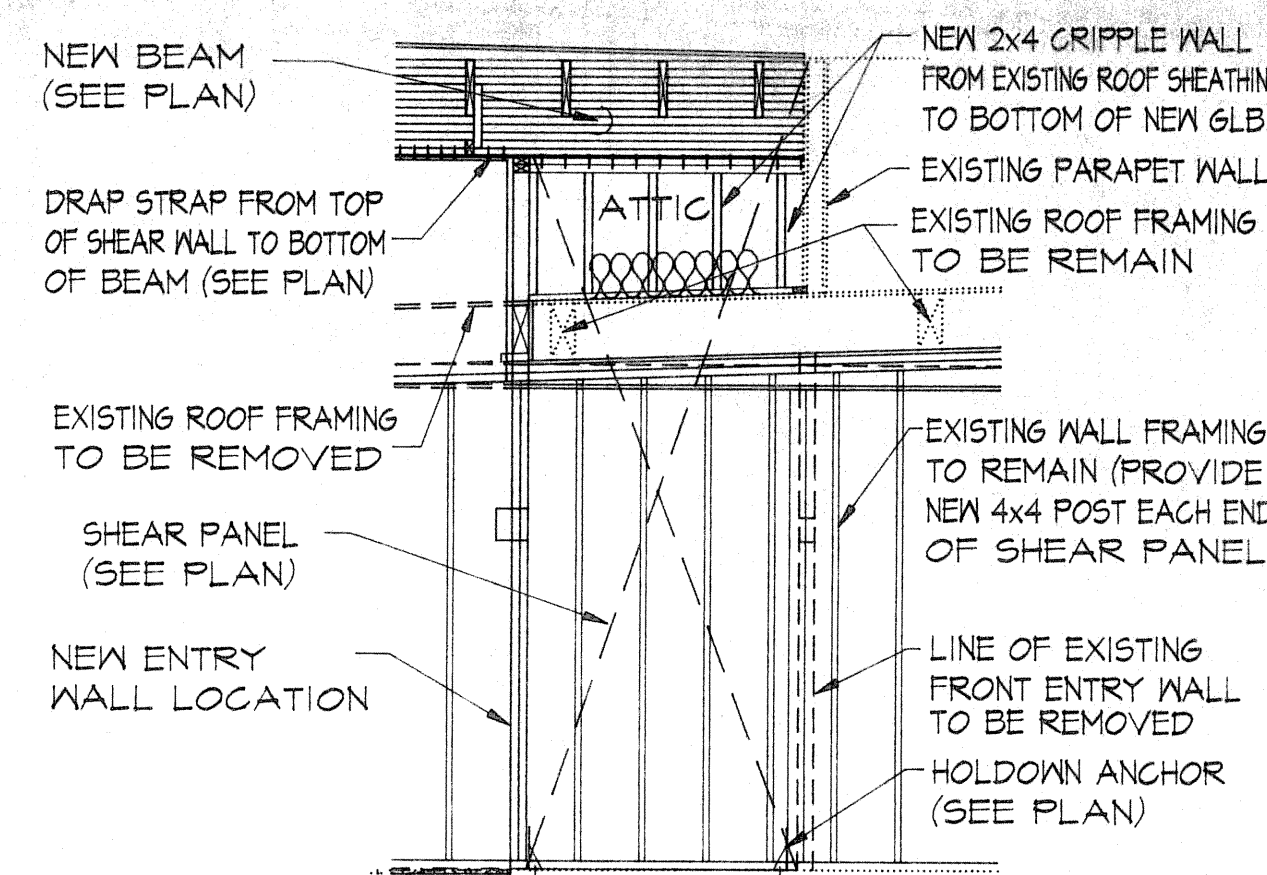
13 CURB RAMP  
NO SCALE



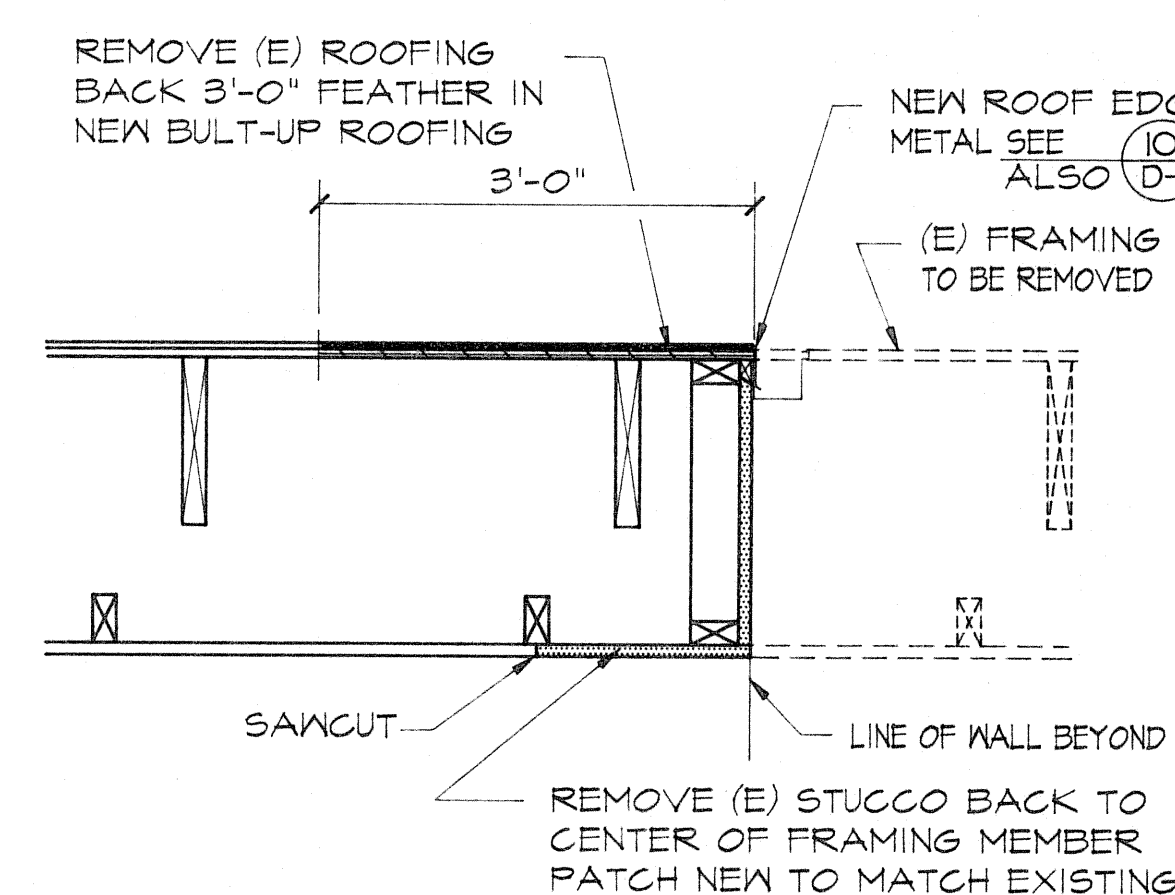
12 GUARDRAIL AT RAMP  
1 1/2" = 1'-0"



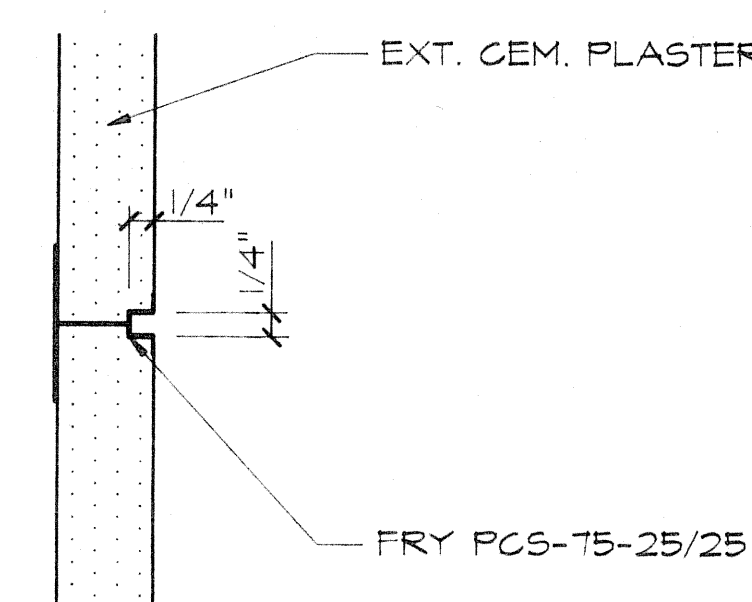
11 HANDICAP PARKING  
1/4" = 1'-0"



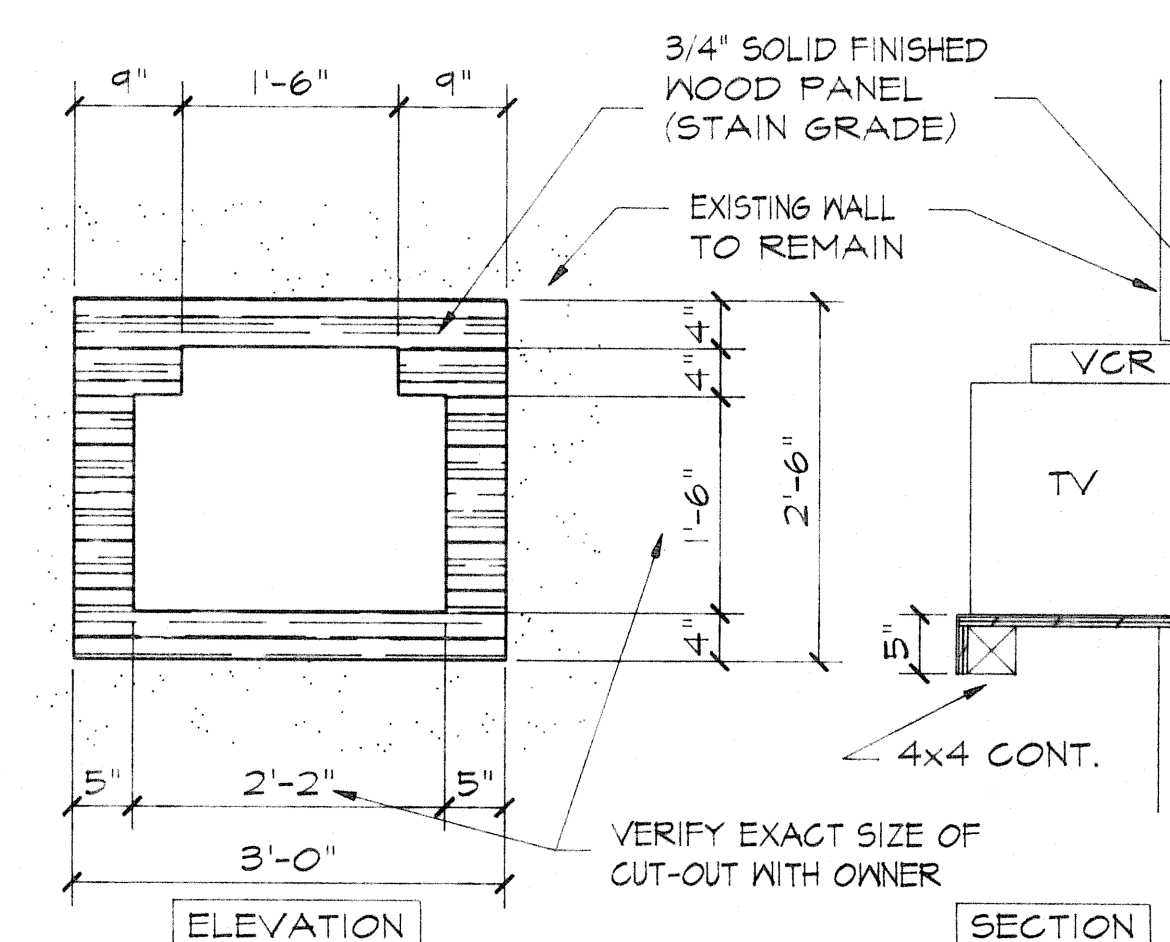
6 BEAM #7 @ ROOF SHEATHING  
1/4" = 1'-0"



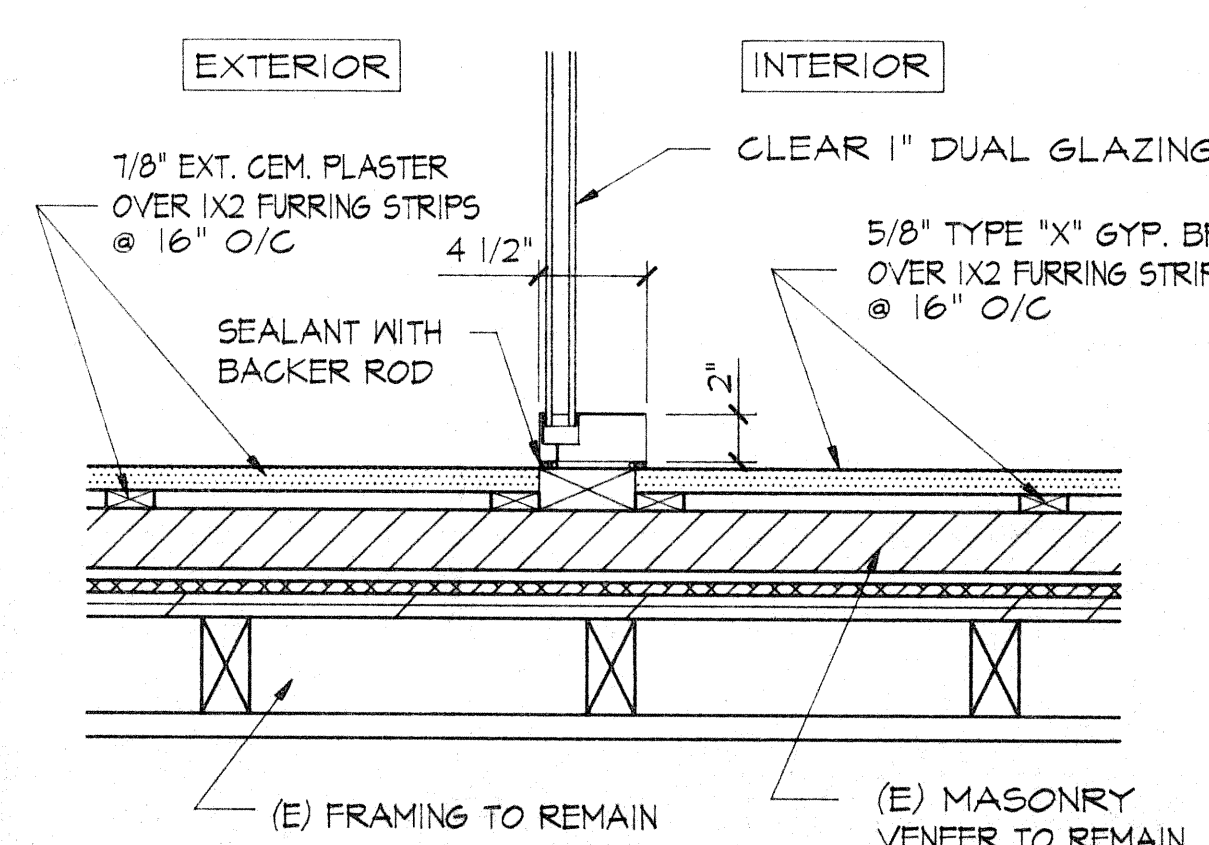
7 EXISTING ROOF END  
3/4" = 1'-0"



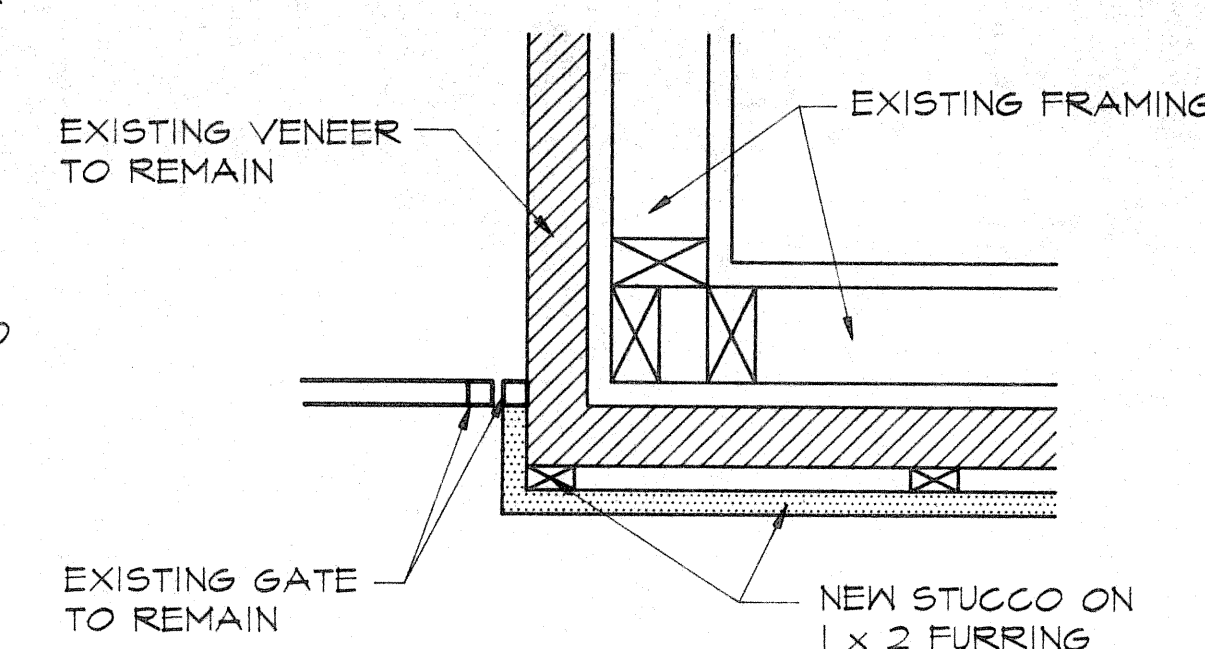
8 STUCCO CHANNEL  
3/4" = 1'-0"



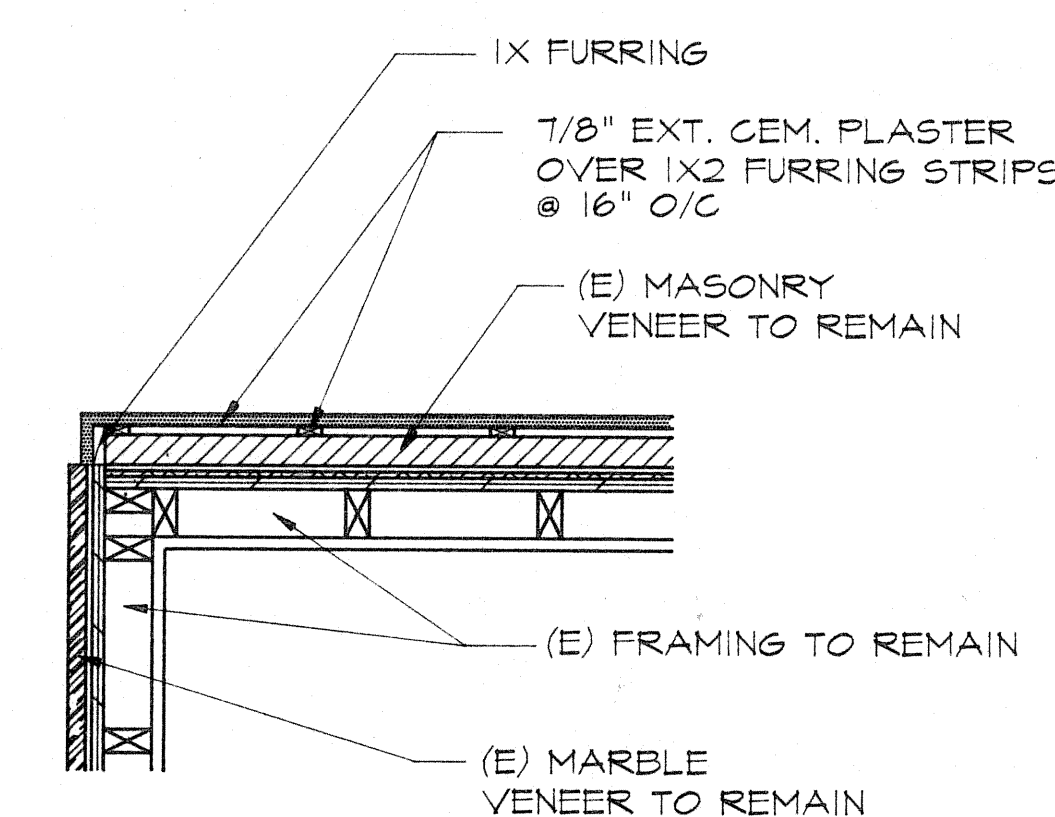
9 WOOD PANEL FOR TV/VCR  
3/4" = 1'-0"



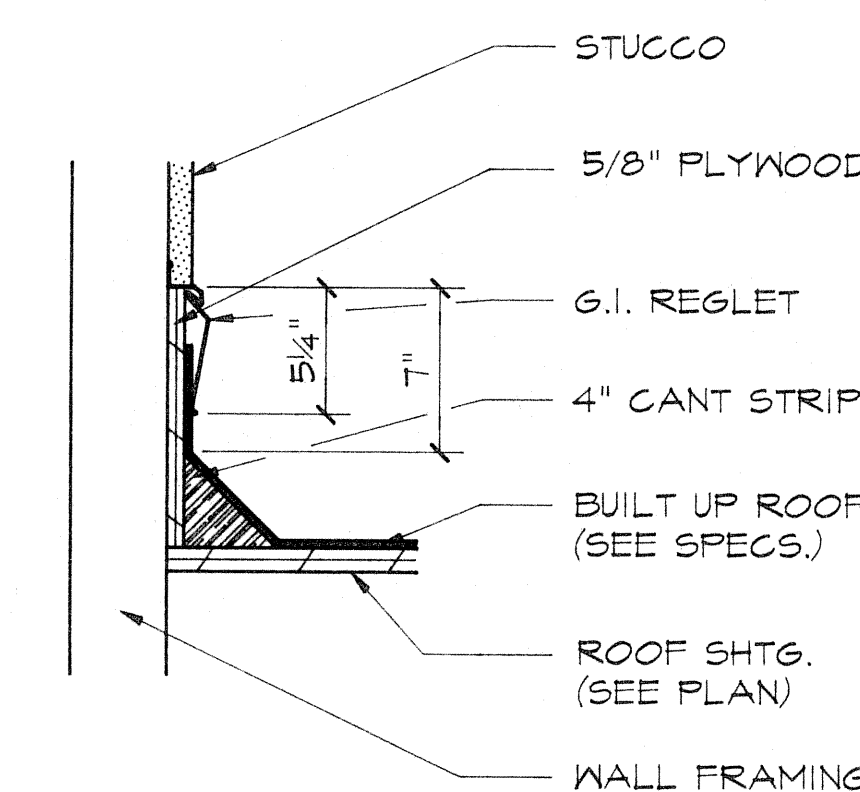
10 WINDOW FRAME TO WALL  
1 1/2" = 1'-0"



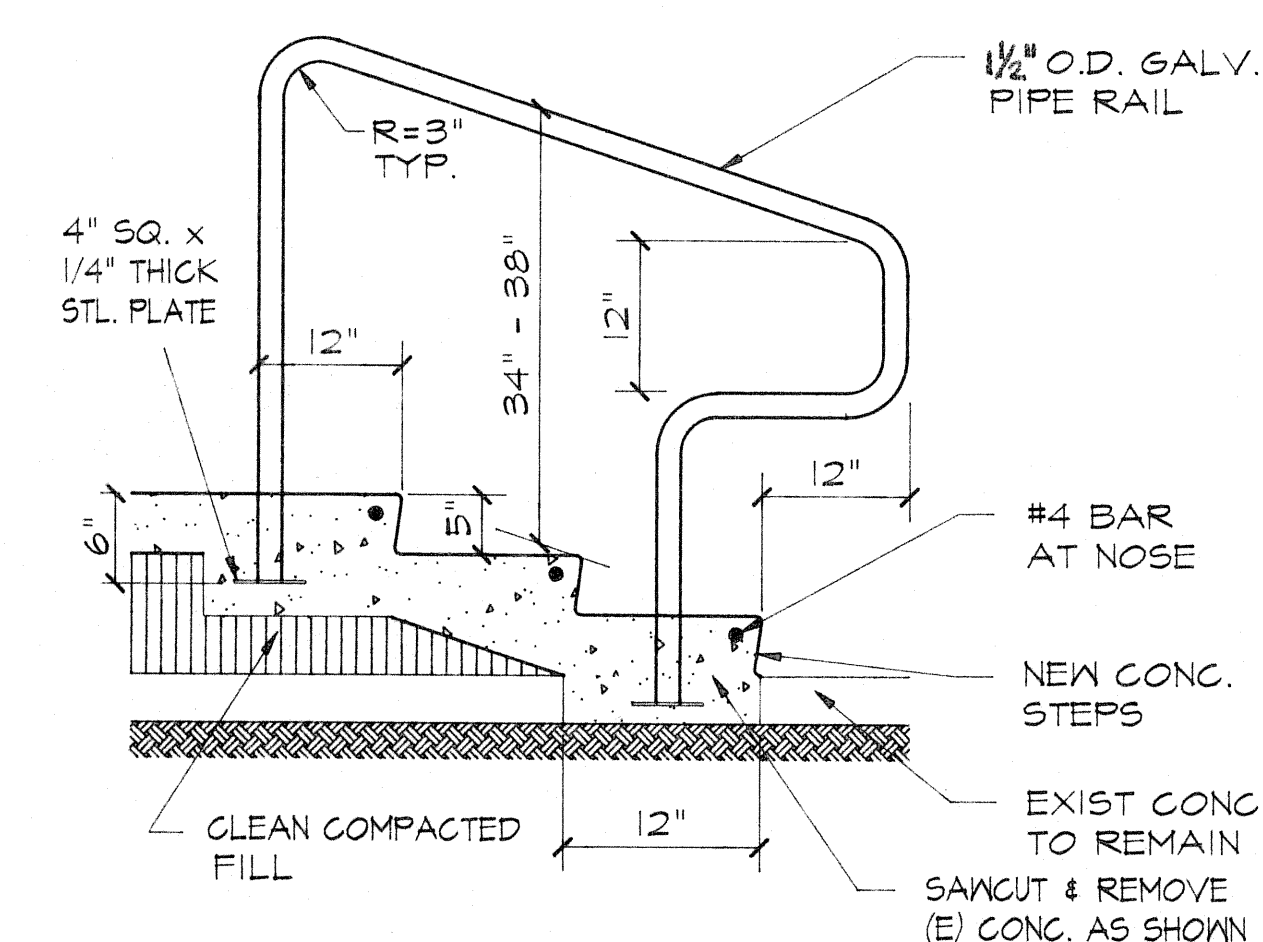
5 MASONRY TO STUCCO  
1 1/2" = 1'-0"



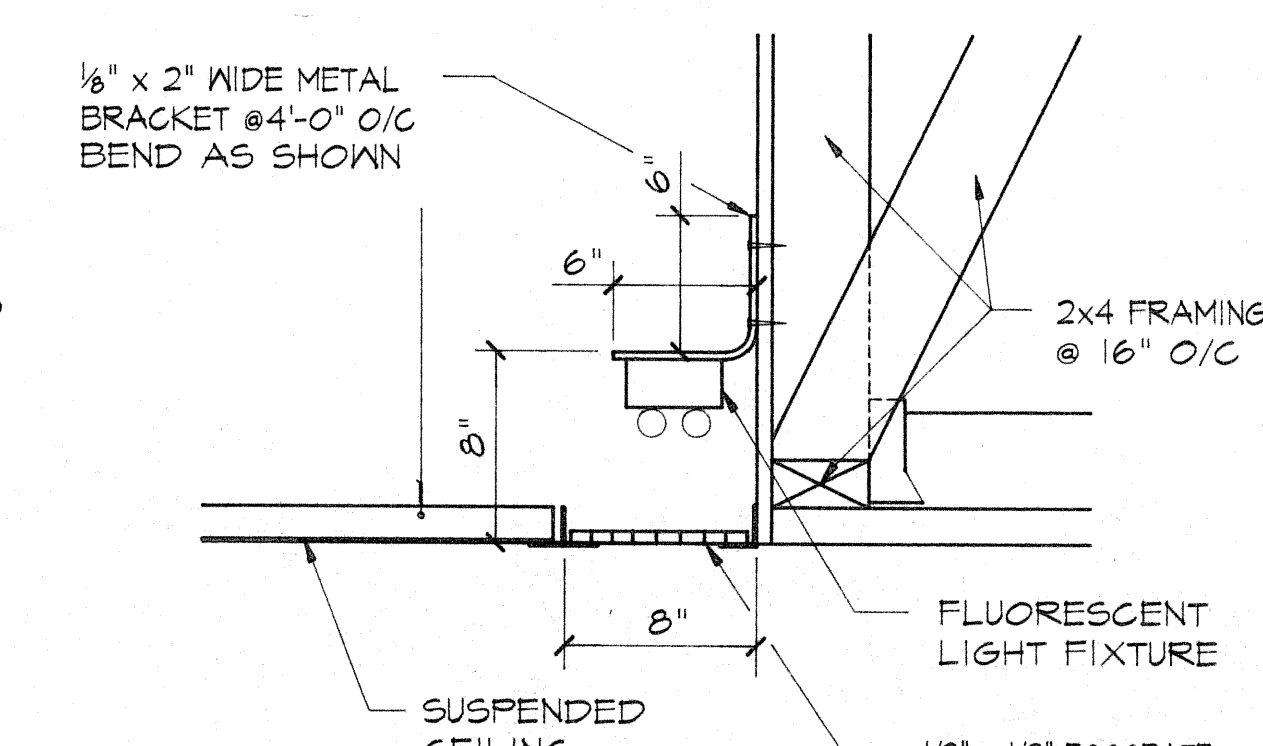
4 CORNER DETAIL  
3/4" = 1'-0"



3 ROOF WALL FLASHING  
1 1/2" = 1'-0"



2 HAND RAIL  
3/4" = 1'-0"



1 SOFFIT LIGHTING  
1 1/2" = 1'-0"

Proposed Remodel for:  
**Fontana City Hall**  
8333 Sierra Avenue, Fontana, CA 92335

DATE 4 Oct. 1996  
PROJECT 96-164

8 NOV. 1996  
20 NOV. 1996

Details

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## GENERAL NOTES:

1. WORK COVERED BY CONTRACT DOCUMENTS, UNLESS OTHERWISE PROVIDED, CONTRACTOR SHALL PROVIDE AT HIS EXPENSE ALL MATERIALS, LABOR, TOOLS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.

2. PERMITS. CONTRACTOR SHALL OBTAIN AND PAY COST OF PERMITS AND LICENSES NECESSARY FOR COMPLETION OF THIS WORK. CONTRACTOR SHALL SECURE CERTIFICATES OF INSPECTION AND OF OCCUPANCY THAT MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. HE SHALL DELIVER THESE CERTIFICATES TO THE ARCHITECT PRIOR TO CERTIFICATE OF SUBSTANTIAL COMPLETION.

3. STAGING, STORAGE AND PARKING. CONTRACTOR SHALL CONFINE HIS APPARATUS, STORAGE OF MATERIALS, AND OPERATIONS OF HIS WORKMEN TO LIMITS INDICATED BY LAW, ORDINANCES AND PERMITS AND SHALL ARRANGE AND MAINTAIN PARKING OF VEHICLES AND STORAGE OF MATERIALS IN AN ORDERLY MANNER LEAVING ALL WALKS, DRIVEWAYS, ROADS AND ENTRANCES UNENCUMBERED. SEE SITE PLAN FOR ADDITIONAL INFORMATION CONCERNING CONTRACTOR'S STAGING AND STORAGE AREA AND PARKING REQUIREMENTS.

5. COMMENCEMENT, PROSECUTION & COMPLETION OF THE WORK. CONTRACTOR SHALL BE REQUIRED TO COMMENCE WORK PROMPTLY AS DIRECTED BY NOTICE TO PROCEED FROM OWNER. HE SHALL PROSECUTE THE WORK DILIGENTLY SO AS TO COMPLETE IT WITHIN THE TIME LIMIT AS INDICATED BY THE CONTRACT DOCUMENTS. WORK INSIDE THE CITY HALL IS PERMITTED DURING NORMAL WORKING HOURS MONDAY THROUGH THURSDAY. CONTRACTOR SHALL BE REQUIRED TO PROVIDE AND PAY FOR CONTINUOUS SECURITY WHEN WORKING AFTER CLOSING HOURS.

6. PRE-CONSTRUCTION CONFERENCE. A PRE-CONSTRUCTION CONFERENCE BETWEEN ARCHITECT, OWNER'S REPRESENTATIVE, AND CONTRACTOR SHALL BE HELD AT THE SITE PRIOR TO COMMENCEMENT OF WORK. THIS MEETING SHALL BE FOR THE PURPOSE OF:

- RESOLVING CURRENT PROBLEMS
- FURTHER ORIENTING CONTRACTOR TO REQUIREMENTS OF THE CONTRACT DOCUMENTS
- INFORMING CONTRACTOR OF ARCHITECT'S RESPONSIBILITY TO OWNER FOR INSPECTION
- WORKING OUT WITH CONTRACTOR A GENERAL SCHEDULE OF INSPECTION.

7. TELEPHONE. OWNER WILL PROVIDE A TELEPHONE FOR USE BY CONTRACTOR. LOCAL CALLS SHALL BE PAID FOR BY OWNER. LONG DISTANCE AND TOLL CALLS SHALL BE PAID FOR BY THE PARTY MAKING THE CALLS.

8. WATER. OWNER WILL PROVIDE AND PAY FOR ALL WATER FOR BUILDING PURPOSES WHICH IS REQUIRED BY ALL TRADES.

9. SANITARY FACILITIES. CONTRACTOR MAY USE TOILET FACILITIES ON SITE AS DIRECTED BY OWNER'S REPRESENTATIVE.

10. ELECTRICITY. OWNER WILL PROVIDE AND PAY FOR ALL CONSTRUCTION POWER AND LIGHTING.

11. PROTECTION OF PERSONS. CONTRACTOR SHALL PROVIDE INSTALLATION AND MAINTENANCE OF NECESSARY PRECAUTIONS TO PROTECT ALL PERSONS ON THE SITE, INCLUDING MEMBERS OF THE GENERAL PUBLIC, FROM INJURY OR HARM, INCLUDING BUT NOT LIMITED TO:

- POSTING OF APPROPRIATE WARNING SIGNS IN HAZARDOUS AREAS
- PROVIDING GUARDRAILS, BARRICADES OF AT LEAST 3'-6" IN HEIGHT, TOGETHER WITH WARNING LIGHT AND OBSTRUCTIONS, PITS, TRENCHES, OR SIMILAR AREAS IN ON-SITE OR ADJACENT STREETS, ROADS, SIDEWALKS OR ON THE SITE OF THE STRUCTURE ITSELF.

12. PROTECTION OF EXISTING WORK. CONTRACTOR SHALL PROTECT ALL STREETS, PRIVATE ROADS AND SIDEWALKS INCLUDING OVERHEAD PROTECTION, AND SHALL MAKE NECESSARY REPAIRS FOR DAMAGE THERE TO DURING THE COURSE OF THE WORK AT HIS OWN EXPENSE. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT CONTRACTOR'S EXPENSE.

13. CONSTRUCTION CLEANING. CONTRACTOR SHALL KEEP THE PREMISES APPROPRIATELY CLEAN DURING THE PROGRESS OF THE WORK. APPROPRIATELY SHALL BE INTERPRETED TO MEAN A LEVEL OF CLEANLINESS CONSISTENT WITH ONGOING CITY HALL OPERATIONS. REMOVE WASTE MATERIALS CAUSED BY EMPLOYEES, SUBCONTRACTORS, AND INSTALLING MATERIAL MEN ON A DAILY BASIS.

14. PRODUCT OPTIONS & SUBSTITUTIONS. WHENEVER AN ITEM OR CLASS OF MATERIAL IS SPECIFIED EXCLUSIVELY BY TRADE NAME, NAME OF MAKER, OR BY CATALOG REFERENCE, USE SUCH ITEM ONLY UNLESS ARCHITECT'S APPROVAL FOR A SUBSTITUTION HAS BEEN SECURED BY ADDENDUM OR CHANGE ORDER. ITEMS AND MATERIALS NOT SPECIFIED IN THE CONTRACT DOCUMENTS AND INSTALLED IN THE WORK SHALL BE REMOVED AND REPLACED BY SPECIFIED ITEMS AND MATERIALS AT NO ADDITIONAL COST TO THE OWNER AND FOR NO ADDITIONAL TIME ADDED TO THE CONTRACT.

15. LIQUIDATED DAMAGES. THE AMOUNT AGREED UPON AND ESTABLISHED AS LIQUIDATED DAMAGES UP TO SUBSTANTIAL COMPLETION IS \$300.00 PER CALENDAR DAY. THE AMOUNT AGREED UPON AND ESTABLISHED AS LIQUIDATED DAMAGES FOR EACH CALENDAR DAY THAT CONTRACTOR SHALL EXCEED THE TIME ALLOWED IN THE SUBSTANTIAL COMPLETION CERTIFICATE SHALL BE IN THE AMOUNT OF ONE-THIRD (1/3) OF THE AMOUNT OF THE ORIGINAL LIQUIDATED DAMAGES SUM OR \$100.00 PER CALENDAR DAY.

16. FINAL CLEANING. CONTRACTOR SHALL, AT THE COMPLETION OF HIS WORK, REMOVE ALL RUBBISH FROM UNDER AND ABOUT THE BUILDING, ALL HIS TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THE BUILDING CLEAN AND HABITABLE, HAVING THOROUGHLY SWEEP FLOORS, CLEANED WINDOWS, AND DUSTED PLAT SURFACES SUCH AS CABINET TOPS AND WINDOW SILLS. IF THE CONTRACTOR FAILS TO CLEAN UP, THE OWNER MAY DO SO AND THE COST THEREOF WILL BE CHARGED TO THE CONTRACTOR.

17. CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA MODIFIED VERSION (1991 EDITION) OF THE FOLLOWING CODES:

- THE UNIFORM BUILDING CODE,
- UNIFORM PLUMBING CODE,
- UNIFORM MECHANICAL CODE,
- UNIFORM FIRE CODE,
- NATIONAL ELECTRIC CODE (1990 EDITION),
- AMERICANS WITH DISABILITIES ACT (ADA)
- ALL OTHER APPLICABLE LAWS AND REGULATIONS

## 03 CONCRETE

03 210 CONCRETE REINFORCING STEEL SHALL BE DEFORMED TYPE, CONFORMING TO ASTM A 615-89, GRADE 40 MINIMUM AND FREE OF SCALE OR OTHER BOND-REDUCING COATINGS

03 313 NORMAL WEIGHT STRUCTURAL CONCRETE SHALL BE 2500 PSI MIX AT 28 DAYS FOR SLABS AND FOOTINGS. PORTLAND CEMENT SHALL MEET ASTM C 150-89, TYPE II. AGGREGATE SHALL BE UNIFORMLY GRADED 1/4" MINIMUM TO 3/4" MAXIMUM. THE MINIMUM COMPRESSIVE STRENGTH SHALL BE 3000 PSI. ADMIXTURES OF ANY KIND ARE NOT PERMITTED. FINISH TO BE FLOATED AND TROWELED AFTER CONCRETE HAS SET ENOUGH TO AVOID BRINGING WATER AND FINES TO THE SURFACE. CURING COMPOUND RESIN BASED MATERIAL WHICH WILL NOT INTERFERE IN THE SLIGHTEST DEGREE WITH THE ADHESION OF VINYL OR TILE FLOORING.

## 06 CARPENTRY

06 110 DIMENSION LUMBER SHALL BE GRADE STAMPED AND CONFORM TO THE FOLLOWING REQUIREMENTS: MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19% AND SHALL BE STAMPED "S-DRY" OR "K-D". PRESSURE TREATED WOOD SHALL BE USED WHEN IN CONTACT WITH CONCRETE IN ACCORDANCE WITH LP 2-80, SEASON AFTER TREATMENT TO 19% MOISTURE CONTENT.

06 115 SHEATHING SHALL BEAR APA PERFORMANCE RATED PLYWOOD, WAFFERBOARD, COMPOSITE BOARD AND ORIENTED STRAND BOARD (BUT NOT STRUCTURAL PARTICLE BOARD) ARE ACCEPTABLE AS EQUALS WHEN ROOFING SPAN RATINGS ARE MET. PANELS SHALL BE STAMPED "SIZED FOR SPACING". INSTALL SHEATHING WITH NAIL HEADS FLUSH, BUT NOT PENETRATING SHEATHING SURFACE. PROTECT ROOF SHEATHING FROM MOISTURE UNTIL ROOFING IS INSTALLED.

06 210 DOOR AND FRAME INSTALLATION SHALL BE IN ACCORDANCE WITH BIRD, STICK OR BE MOUNTED SO AS TO CAUSE FUTURE HARDWARE DIFFICULTIES. CLOSERS SHALL BE MOUNTED ON THE STOP SIDE OF DOOR (PARALLEL ARM) WHERE POSSIBLE. HINGES SHALL BE SET FLUSH IN A STRAIGHT LINE TO PREVENT DISTORTION LATCHES SHALL BE SET HIGH IN STRIKE PLATE OPENING SO WHEN DOOR LATER SETTLES, LATCH WILL NOT BIND.

## 07 THERMAL & MOISTURE PROTECTION

07 211 UNFACED BATT AND BLANKET INSULATION SHALL BE FRICTION FIT, 12", 16" OR 24" WIDE ACCORDING TO FRAMING SPACING. WHERE INSULATION IS NOT ENCLOSED BY DRYWALL, SUPPORT IN PLACE WITH WIRE OR OTHER SUITABLE MATERIAL. LEAVE NO GAPS IN INSULATION ENVELOPE.

07 512 BUILT-UP BITUMINOUS ROOFING SHALL BE TREMCO 5 YEAR WARRANTY SPECIFICATION TO MATCH EXISTING WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: MECHANICALLY FASTENED BASE SHEET, BUILT-UP ROOFING SYSTEM, COLD MODIFIED ASPHALT FLOOD COAT, GRAVEL SURFACED

1. QUALITY CONTROL. CONTRACTOR SHALL BE EXPERIENCED IN HOT MULTI-PLY ROOFING YEARS FROM UNEMPLOYED. CONTRACTOR SHALL BE A MANUFACTURER CERTIFIED OR APPROVED CONTRACTOR, AND HAS NOT BEEN IN CHAPTER 7 DURING THE LAST 10 YEARS.

2. QUALITY CONTROL. ROOFING MATERIAL SUPPLIER SHALL BE ASSOCIATE MEMBER IN GOOD STANDING WITH NATIONAL ROOFING CONTRACTORS' ASSOCIATION (NRCA) FOR AT LEAST FIVE (5) YEARS BE NATIONALLY RECOGNIZED IN ROOFING, WATERPROOFING, AND MOISTURE SURVEY INDUSTRY. BE APPROVED BY OWNER HAS NOT BEEN IN CHAPTER 11 DURING THE LAST FIVE (5) YEARS.

3. PLANS AND SPECIFICATIONS. CONTRACTOR MUST NOTIFY OWNER AND SPECIFIER OF ANY OMISSIONS, CONTRADICTIONS OR CONFLICTS SEVEN (7) DAYS BEFORE BID DATE. OWNER AND SPECIFIER WILL PROVIDE NECESSARY CORRECTIONS OR ADDITIONS TO PLANS AND SPECIFICATIONS BY ADDENDUM. IF CONTRACTOR DOES NOT SO NOTIFY OWNER AND SPECIFIER OF ANY SUCH CONDITION, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INCLUDED THE NECESSARY ITEMS IN THE BID TO COMPLETE THIS SPECIFICATION.

4. UNCOVERED WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY DURING THE COURSE OF THE WORK, TO BRING TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE ANY DEFECTIVE MEMBRANE, INSULATION OR DECK DISCOVERED WHERE NOT PREVIOUSLY IDENTIFIED.

5. REGULATORY REQUIREMENTS. ROOF SYSTEM SHALL CONFORM TO THE FOLLOWING MINIMUM REQUIREMENTS: UNIFORM BUILDING CODE, UL 790 CLASS A, FM 4470 CLASS I, 1-80 WINDSTORM, EPA, SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT VOC REGULATIONS ON SPRAY APPLIED COLD ASPHALT.

6. SUBMITTALS PRODUCT COMPATIBILITY. AT PRE-CONSTRUCTION MEETING, PROVIDE WRITTEN VERIFICATION FROM ROOFING MATERIAL SUPPLIER THAT MAJOR ROOFING COMPONENTS, INCLUDING (BUT NOT LIMITED TO) COATINGS, COLD PROCESS ADHESIVES, ROOFING PLY SHEETS, REINFORCEMENT FABRIC, FELTS AND MATS, MASTICS, AND SEALANTS ARE ALL COMPATIBLE WITH EACH OTHER.

7. TEST REPORTS. PROVIDE WRITTEN VERIFICATION FROM ROOFING MATERIAL SUPPLIER THAT ROOFING SYSTEM MEETS OR EXCEEDS REGULATORY AGENCY REQUIREMENTS.

8. RED LABEL PRODUCTS. PROVIDE WRITTEN VERIFICATION FROM ROOFING MATERIAL SUPPLIER THAT COLD PROCESS COATINGS ARE NOT RED LABEL.

9. DELIVERY OF MATERIALS DELIVER MATERIALS TO JOB-SITE IN NEW, DRY, UNOPENED, AND WELL-MARKED CONTAINERS SHOWING PRODUCT AND MANUFACTURER'S NAME. DELIVER MATERIALS IN SUFFICIENT QUANTITY TO ALLOW CONTINUITY OF WORK. COORDINATE DELIVERY WITH OWNER. DO NOT ORDER PROJECT MATERIALS OR START WORK BEFORE RECEIVING OWNER'S WRITTEN APPROVAL. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON PREMISES.

10. FIELD MEASUREMENTS AND MATERIAL QUANTITIES. APPLICATOR SHALL HAVE SOLE RESPONSIBILITY FOR ACCURACY OF ALL MEASUREMENTS, ESTIMATES OF MATERIAL QUANTITIES AND SIZES, AND SITE CONDITION'S THAT WILL AFFECT WORK.

11. EXISTING CONDITIONS BUILDING SPACE DIRECTLY UNDER ROOF AREA COVERED BY THIS SPECIFICATION WILL BE UTILIZED BY ONGOING OPERATIONS. DO NOT INTERRUPT OWNER OPERATIONS UNLESS PRIOR WRITTEN APPROVAL IS RECEIVED FROM OWNER. ACCESS TO ROOF SHALL BE FROM EXTERIOR ONLY. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DUST, VAPORS, GASES OR ODORS FROM ENTERING THE BUILDING DURING ROOF REMOVAL, REPLACEMENT OR REPAIR. ADVISE OWNER WHEN VOLATILE MATERIALS ARE TO BE USED NEAR AIR VENTILATION INTAKES SO THAT THEY CAN BE SHUT DOWN OR BLOCKED AS OWNER REQUIRES.

12. ENVIRONMENTAL REQUIREMENTS: DO NOT WORK IN RAIN, SNOW, OR IN PRESENCE OF WATER, OR IN TEMPERATURES BELOW 40°F.

13. SUBSTITUTIONS. WHEN A PARTICULAR MAKE OR TRADE NAME IS SPECIFIED, IT SHALL BE INDICATIVE OF STANDARD REQUIRED. BIDDERS PROPOSING SUBSTITUTES SHALL SUBMIT THE FOLLOWING 10 DAYS PRIOR TO BID DATE TO OWNER:

WRITTEN APPLICATION WITH EXPLANATION OF WHY IT SHOULD BE CONSIDERED, AND INCLUDING THE FOLLOWING DOCUMENTATION: ACCREDITED TESTING LABORATORY CERTIFICATE COMPARING SUBSTITUTE'S PHYSICAL/PERFORMANCE ATTRIBUTES TO THOSE SPECIFIED. ONLY SUBSTITUTES APPROVED IN WRITING BY PROJECT MANAGER PRIOR TO SCHEDULED BID DATE WILL BE CONSIDERED OWNER'S REPRESENTATIVE. RESERVES RIGHT TO BE FINAL AUTHORITY ON ACCEPTANCE OR REJECTION OF ANY SUBSTITUTE.

14. PAYMENT & PERFORMANCE BONDS. CONTRACTOR PURCHASES PAYMENT AND PERFORMANCE BONDS BENEFIT OF OWNER AND MATERIAL SUPPLIER. BONDING COMPANY/SURETY SHALL BE RATED B+ OR BETTER IN CURRENT KEY RATING GUIDE AS ISSUED BY A. M. BEST CO., OLDWICK, NJ.

15. PROGRESS PAYMENTS. CONTRACTOR SHALL ESTABLISH WITH OWNER, OWNER'S PROCEDURE FOR PAYMENT AND RETAINAGES PRIOR TO COMMENCEMENT OF WORK ON THIS PROJECT. PARTIAL OR PROGRESS PAYMENTS SHALL NOT RELIEVE CONTRACTOR OF PERFORMANCE OBLIGATIONS UNDER THIS CONTRACT. NOR SHALL SUCH PAYMENTS BE VIEWED AS APPROVAL OR ACCEPTANCE OF WORK PERFORMED. FINAL PAYMENT SHALL BE WITHHELD UNTIL ALL PROVISIONS OF THE SPECIFICATIONS ARE MET.

16. WARRANTY/GUARANTEE SHALL COVER NEWLY APPLIED ROOFING SYSTEMS ONLY. UPON PROJECT COMPLETION, TREMCO ACCEPTANCE, AND ONCE COMPLETE PAYMENT HAS BEEN RECEIVED BY BOTH CONTRACTOR AND TREMCO, TREMCO SHALL DELIVER TO OWNER A FIVE YEAR TREMCO ROOFING SYSTEM QUALITY ASSURANCE WARRANTY AND OWNER'S MANUAL. TREMCO WILL DURING THE SECOND YEAR AND IN THE FIFTH YEAR OF THIS WARRANTY, INSPECT AND PROVIDE A WRITTEN EXECUTIVE SUMMARY OF THE ROOF.

## PRODUCTS

1. ACCEPTABLE MANUFACTURER TREMCO INC., CORONA, CA 1-800-452-9999

2. ROOF DECKING MECHANICAL FASTENERS BASE SHEET TO WOOD DECK SPIRAL OR ANNUULAR RINGS SHANK NAILS, TWELVE (12) GAUGE MINIMUM, WITH INTEGRAL ONE (1) INCH CAP.

3. ROOFING MATERIALS BASE PLY AND INTERPLY ADHESIVE TO BE PREMIUM III ASPHALT BY TREMCO. SURFACING ADHESIVE TO BE BURNMATIC FR BY TREMCO

BASE SHEET TO BE BURMATIC GLASS PLY BY TREMCO ASTM D 4601, TYPE II. PLY SHEET SHALL MEET ASTM D 2178, TYPE IV. ASPHALT MASTIC TO BE EL'S BY TREMCO. FLASHING BITUMEN TO BE PREMIUM III ASPHALT BY TREMCO. FLASHING EMULSION TO BE TREMLASTIC. FLASHING SURFACING TO BE DOUBLE DUTY ALUMINUM BY TREMCO. FLASHING MEMBRANE TO BE THERM MB 3G25FR BY TREMCO. FLASHING PLY TO MEET ASTM D 2178-88A, TYPE IV. ROOFING GRAVEL TO MEET ASTM D 1863 GRANITE, OR WASHED GRAVEL, NO. 6. COPING SEALANT TO BE TREMSEAL GP BY TREMCO. SHEATHING PAPER TO MEET ASTM D 549-74 (1982), ROSIN-SIZED SHEATHING PAPER STRIPPING PLY TO MEET ASTM D 2178, TYPE IV.

4. METAL FLASHINGS TO BE 24 GAUGE GALVANIZED STEEL TO MEET ASTM A 528-85, SHEET STEEL WITH 1.25 OZ./SQ. GALVANIZED COATING.

SOLDER TO MEET ASTM B32-89, ALLOY GRADE 50A. NEUTRALIZE FLUX AFTER SOLDERING.

LEAD FLASHINGS TO MEET ASTM B 29-78(1984), FOUR (4) LB. SHEET LEAD WORK SHALL BE IN ACCORDANCE WITH ARCHITECTURAL SHEET METAL MANUAL, AS ISSUED BY SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION, INC., (SMACNA).

## 5. SYSTEM PERFORMANCE REQUIREMENTS:

### BURMATIC FR

Property	Typical Value	Test Method
Asbestos content	None	ASTM D 276-87
Viscosity @ 77° F	120,000-240,000 CP	ASTM D 2196-81
Density @ 77° F	8.5 lb/gal	ASTM D 1475-85
Nonvolatile Matter	70%	ASTM D 4479-85
Asphalt content, min	42%	ASTM D 4479-85
Flash point	> 100° F	ASTM D 93-85
Uniformity & consistency	Pass	ASTM D 4479-85
Volatiles Organic Compound	304 g/l	ASTM D 3960-89

### BURMATIC GLASS PLY, ASTM D 4601-86, TYPE II FIBERGLASS BASE SHEET

Property	Typical Value	Test Method
Weight	33 lb/100 ft <sup>2</sup>	ASTM D 228-69 (1978)
Breaking strength	90 lb/in. MD	ASTM D 146-78a (1986)
	70 lb/in. XD	
Pliability, 1/2 in. Radius	No failures	ASTM D 146-78a (1986)
Mass of desaturated glass mat, min	1.7 lb/100 ft <sup>2</sup>	ASTM D 146-78a (1986)
Surfacing and stabilizer, max	65%	ASTM D 146-78a (1986)
Asphalt content	70 - 85%	ASTM D 228-69 (1978)
Ash (glass mat only)		ASTM D 146-78a (1986)

### DOUBLE DUTY ALUMINUM

Property	Typical Value	Test Method
Asbestos content	None	ASTM D 276-87
Viscosity @ 77° F	13.5 s	ASTM D 1200-62
Ford cup No. 4)		
Density @ 77° F	7.5 lb/gal	ASTM D 1475-85
Nonvolatile Content	35.2%	ASTM D 1644-88

### ELS

Property	Typical Value	Test Method
Asbestos content	None	ASTM D 276-87
Viscosity @ 77° F	400,000 cP	ASTM D 2196-81
Density @ 77° F	1,000,000 cP	
Nonvolatile Matter	80%	ASTM D 1475-85
Behavior at 140° F (See Resistance)		ASTM D 4586-80
Moisture vapor transmission rate	0.10 - 0.40 g/100 in. <sup>2</sup> in. /24 hrs @ 0.020 in. thickness	ASTM E 998-83

### PREMIUM III

Property	Typical Value	Test Method
Softening point	195 - 200° F	ASTM D 36-86
Penetration @ 77° F	15 - 30 mm	ASTM D 5-86
Flash point, min	525° F	ASTM D 92-85
Ductility @ 77° F, min	2.5 in	ASTM D 113-86
Equiviscous temperature range (125GPa)	400 to 430° F	ASTM D 4462-87

### THERM MB 3G25FR

Property	Typical Value	Test Method
Thickness	0.150 in. (3.8 mm)	ASTM D 751-89
Tensile strength	230 lb/in. MD	ASTM D 2623-78 (1984)
@ 0° F	240 lb/in. XD	
Elongation @ 0° F	3.9% MD	ASTM D 2623-78 (1984)
	2.6% XD	
Load strain modulus @ 0° F	6,785 lb/in. MD	ASTM D 2623-78 (1984)
Puncture Resistance	9,530 lb/in. MD	
	78 lb/in	FTMS 101C-2031 (Modified) SPRI
Low temperature flexibility	-25° F	

### TREMLASTIC

Property	Typical Value	Test Method
Asbestos content	None	ASTM D 276-87
Density @ 77° F	8.4 lb/gal	ASTM D 1475-85
Residue by evaporation	50%	ASTM D 2039-78
Ash content	4.0% (total sample)	ASTM D 2039-78
Tensile strength @ 77° F, min	45 psi	ASTM D 412-87
Elongation @ 77° F, min	200%	ASTM D 412-87
Moisture vapor transmission rate	4.0 g/100 in. <sup>2</sup> in. /24 hrs @ 0.020 in. thickness	ASTM E 398-83 (1988)

### TREMSEAL GP

Property	Typical Value	Test Method
Tensile strength	180 psi	ASTM D 412-87
Ultimate elongation	550%	ASTM D 412-87
Adhesion to metal	25 lb/in.	ASTM C 794-80 (1986)
Weep & sag	Passes	ASTM C 590-83
Staining	Passes	ASTM C 510-77 (1983)
Weight loss, cracking & chalking after heat aging	Passes	ASTM C 792-75 (1987)
Hardness @ 77° F, 50% RH (Shore A)	25 ± 5	ASTM C 661-86
Durability (Bond & Cohesion)	Passes (On mortar, granite and anodized aluminum at ± 25% movement)	ASTM C 719-86

## EXECUTION

1. EXAMINATION CONTRACTOR SHALL VERIFY CONDITIONS AS SATISFACTORY TO RECEIVE WORK. DO NOT BEGIN ROOFING UNTIL ALL UNSATISFACTORY CONDITIONS ARE CORRECTED. BEGINNING WORK CONSTITUTES ACCEPTANCE OF CONDITIONS.

2. GENERAL WORKMANSHIP SUBSTRATE SHALL BE FREE OF FOREIGN PARTICLES PRIOR TO LAYING ROOF MEMBRANE. PHASED APPLICATION IS NOT PERMITTED. ALL PLYS SHALL BE COMPLETED EACH DAY.

3. TRAFFIC AND EQUIPMENT SHALL BE KEPT OFF COMPLETED PLYS UNTIL ADHESIVE HAS SET.

4. WRAPPER AND PACKAGING MATERIALS ARE NOT TO BE INCLUDED IN ROOFING SYSTEM.

5. ENTRAPPED AGGREGATE IS NOT PERMITTED WITHIN NEW MEMBRANE. ITS DISCOVERY IS SUFFICIENT CAUSE FOR REJECTION.

6. PLY SHALL NEVER TOUCH PLY, EVEN AT ROOF EDGES, LAPS, TAPERED EDGE STRIPS, AND CANTS.

7. PLYS PRIOR TO PLACEMENT, CUT PLY SHEETS IN 18-20 FOOT LENGTHS. ALLOW LENGTHS TO RELAX AT LEAST THIRTY (30) MINUTES (55° F OR ABOVE); SIXTY (60) MINUTES (BELOW 55° F). STACK LENGTHS. DO NOT REROLL.

8. ASPHALT HEATING USE LOW BURNER FLAMES DURING INITIAL MELT-DOWNS, CIRCULATE ASPHALT AFTER INITIAL MELT-DOWN. MAXIMUM BITUMEN TEMPERATURE: 525° F. EVT: 400° - 430° F KETTLE: FREE OF CONTAMINANTS (ASPHALT OR COAL TAR PITCH).

9. APPLICATION RATES: BITUMEN QUANTITIES FOR WATERSTOP/TIE-OFFS, FLASHINGS, MISCELLANEOUS DETAIL APPLICATIONS, AND MINIMUM KETTLE CAPACITY ARE NOT INCLUDED IN APPLICATION RATES. TO ACCOUNT FOR THESE FACTORS, ADD APPROXIMATELY TWENTY-FIVE (25) PERCENT ADDITIONAL BITUMEN ON A TOTAL-JOB AVERAGE BASIS.

10. PROTECTION CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF PROPERTY DURING COURSE OF WORK. LAWNS, SHRUBBERY, PAVED AREAS, AND BUILDING SHALL BE PROTECTED FROM DAMAGE. REPAIR DAMAGE AT NO EXTRA COST TO OWNER.

11. CLEAN-UP PROVIDE AT SITE PRIOR TO COMMENCING REMOVAL OF DEBRIS, A DUMPSTER OR DUMP TRUCK TO BE LOCATED ADJACENT TO BUILDING WHERE DIRECTED BY OWNER. REMOVE DUMPSTER FROM PREMISES WHEN FULL AND EMPTY. AT APPROVED DUMPING OR REFUSE AREA, DELIVER EMPTY DUMPSTER TO SITE FOR FURTHER USE. UPON JOB COMPLETION, DUMPSTER SHALL BE REMOVED FROM PREMISES. SPILLED OR SCATTERED DEBRIS SHALL BE CLEANED-UP IMMEDIATELY. REMOVED MATERIAL TO BE DISPOSED FROM ROOF AS IT ACCUMULATES.

12. BASE SHEET/VAPOR RETARDER LAY ONE (1) PLY ROSIN SHEATHING PAPER PERPENDICULAR TO SLOPE DIRECTION OVER ROOF DECK. SIDELAPS - TWO (2) INCHES; ENDLAPS - FOUR (4) INCHES. NAIL TO HOLD IN PLACE INSTALL BASE SHEET OVER SHEATHING PAPER. LAP FOUR (4) INCHES ON SIDES AND ENDS. NAIL THREE (3) INCHES O.C. AT LAP. TWO (2) ROWS STAGGERED EIGHTEEN (18) INCHES O.C., TWELVE (12) INCHES FROM EACH EDGE.

13. BASE PLY SHALL BE INSTALLED TO ROOF AND ALL WALL, CURB, AND PROJECTION BASES IN A UNIFORM AND CONTINUOUS MOPPING OF PREMIUM III STEEP ASPHALT. PLY LAPS: FOUR (4) INCHES. APPLY ADHESIVE NO MORE THAN TEN (10) FEET AHEAD OF EACH ROLL BEING EMBEDDED.

14. ROOFING PLYS BROOM PLY BEFORE ADHESIVE COOLS FROM UNMOPPED SIDE. ENSURE COMPLETE AND CONTINUOUS SEAL AND CONTACT BETWEEN BITUMEN AND PLY SHEETS, INCLUDING ENDS, EDGES, AND LAPS WITHOUT WRINKLES, FISH MOUTHS, OR BUSTERS. BROOM WIDTH: THIRTY-FOUR (34) INCHES MINIMUM. AVOID WALKING ON PLYS UNTIL ADHESIVE HAS SET. ROOFING PLY SHALL NEVER TOUCH ROOFING PLY, EVEN AT ROOF EDGES, LAPS, TAPERED EDGE STRIPS, AND CANTS. LAP PLY MEMBRANE ENDS FOUR (4) INCHES. STAGGER END LAPS THREE (3) FEET MINIMUM. ADHESIVE APPLICATION RATE: TWENTY-FIVE (25) LBS. PER 100 SQ. FT. AVERAGE. TOLERANCE ± 20%.

15. INSTALL THREE (3) PLYS OF PLY SHEET, SHINGLE FASHION. OVERLAP STARTER STRIPS TWENTY-SIX (26) INCHES WITH FIRST PLY, THEN OVERLAP EACH OVER OR PARALLEL TO, BUT NEVER AGAINST EXPOSED EDGES USE TWELVE (12), TWENTY-FOUR (24), AND THIRTY-SIX (36) INCH WIDE PLYS TO START AND FINISH LAP PLY SHEET ENDS SIX (6) INCHES. STAGGER END LAPS TWELVE (12) INCHES MINIMUM.

16. APPLY ADHESIVE NO MORE THAN TEN (10) FEET AHEAD OF EACH ROLL BEING EMBEDDED BROOM EACH PLY BEFORE ADHESIVE COOLS FROM UNMOPPED SIDE. ENSURE COMPLETE AND CONTINUOUS SEAL AND CONTACT BETWEEN BITUMEN AND PLY SHEETS, INCLUDING ENDS, EDGES, AND LAPS WITHOUT WRINKLES, FISH MOUTHS, OR BUSTERS. BROOM WIDTH: THIRTY-FOUR (34) INCHES MINIMUM. AVOID WALKING ON PLYS UNTIL ADHESIVE HAS SET. EMBED EACH PLY IN A UNIFORM AND CONTINUOUS MOPPING OF PREMIUM STEEP ASPHALT. INTERPLY MOPPING RATE: TWENTY-FIVE (25) LBS. PER 100 SQ. FT. AVERAGE. TOLERANCE ± 20%.

17. SURFACING APPLICATION PRIOR TO APPLICATION OF SURFACE TREATMENT SYSTEM. CONTRACTOR SHALL INSPECT ROOF WITH MANUFACTURER'S REPRESENTATIVE. OVER ENTIRE ROOF SURFACE SPRAY APPLY UNIFORM AND CONTINUOUS FLOOD COAT OF BURMATIC FR AT A COVERAGE RATE OF FIVE (5) GALLONS PER 100 SQ. FT. ± 12 GALLON PER 100 SQ. FT. IMMEDIATELY BROADCAST MINIMUM 400 LBS. OF NEW, CLEAN ROOFING GRAVEL PER 100 SQ. FT. COVER FLOOD COAT MATERIAL COMPLETELY.

18. REPAIR OF DEFICIENCIES INSTALLATIONS OF DETAILS NOTED AS DEFICIENT DURING FINAL INSPECTION MUST BE REPAIRED AND CORRECTED BY APPLICATOR, AND MADE READY FOR REINSPECTION, WITHIN FIVE (5) WORKING DAYS.

19. CLEAN UP IMMEDIATELY UPON JOB COMPLETION. ROOF MEMBRANE AND FLASHING SURFACES SHALL BE CLEANED OF DEBRIS.

ARCHITECTURE • INTERIOR DESIGN • PLANNING

DOUGLAS ANDRESEN

Architect

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## 08 DOORS & WINDOWS

08 120 PREFINISHED STEEL DRYWALL FRAMES SHALL BE TYPE "S" FOR FIRE RATED OPENINGS AND TYPE "



09 FINISHES

09 130 ACOUSTICAL SUSPENSION SYSTEM SHALL MEET ASTM C 635-87, INTERMEDIATE DUTY AS FOLLOWS:  
 RUNNERS SHALL BE 0.020 INCH THICK COLD ROLLED STEEL  
 HANGER WIRE SHALL BE 12 GAUGE COLD-ROLLED ELECTRO-GALVANIZED WIRE  
 EDGE MOLDING SHALL BE 0.020 INCH THICK COLD-ROLLED ELECTRO-GALVANIZED STEEL  
 HOLD-DOWN CLIPS AS REQUIRED BY U.L. TO PREVENT LIFTING OF PANELS UNDER UNUSUAL DRAFT CONDITIONS  
 DESIGN STANDARD - "DX" SYSTEM BY USG INTERIORS  
 INSTALL SYSTEM SYMMETRICALLY ABOUT CENTER LINES OF ROOMS UNLESS OTHERWISE SHOWN ON DRAWINGS. LAYOUT SHALL BE STRAIGHT WITH EXPOSED SURFACE FLUSH AND LEVEL

09 260 GYPSUM WALLBOARD SHALL MEET ASTM C 36-85 (1988), TYPE "X" WITH TAPERED EDGE AND FACE PAPER SUITABLE FOR PAINTING.  
 CORNER BEADS SHALL HAVE 1-1/8" LEG MINIMUM. INSTALL WITH SCREWS AT 9 INCHES ON CENTER MAXIMUM.  
 JOINT COMPOUND SHALL BE BEST GRADE OR TYPE AS RECOMMENDED BY WALLBOARD MANUFACTURER AND MEETING REQUIREMENTS OF ASTM C 475-89.  
 FASTENERS SHALL BE BUGLE HEAD SCREWS "TYPE V" OF LENGTH TO PENETRATE WOOD 5/8 INCH MINIMUM. APPLY 3/8 INCH MINIMUM FROM EDGES AND 1 INCH MAXIMUM. SPACE SCREWS AT 7 INCHES ON CENTER EDGES AND FIELD.  
 INSTALL WITH BOARD OF LENGTH TO GIVE THE MINIMUM NUMBER OF JOINTS. STAGGER END JOINTS. EDGE AND END JOINTS SHALL OCCUR OVER FRAMING MEMBERS. KEEP JOINTS AS FAR AWAY FROM OPENINGS AS POSSIBLE.  
 FINISH WITH TAPE EMBEDDED IN JOINT COMPOUND AND THREE SEPARATE COATS OF JOINT COMPOUND APPLIED OVER AL JOINTS, ANGLES, FASTENER HEADS, AND ACCESSORIES. A THIN SKIM COAT OF JOINT COMPOUND, OR MATERIAL MANUFACTURED FOR THIS PURPOSE SHALL BE APPLIED TO THE ENTIRE SURFACE AND SHALL BE SMOOTH AND FREE OF TOOL MARKS OR RIDGES.  
 CLEANING SHALL INCLUDE REMOVING FROM SITE DEBRIS CONNECTED WITH THIS WORK AND TAPING COMPOUND SPILLS.

09 511 ACOUSTICAL PANEL CEILINGS SHALL BE CAST PANELS WITH CORE COLOR MATCHING SURFACE COLOR AND SHALL BE 3/4 INCH THICK.  
 DUCTWORK AND CONDUIT SHALL BE COMPLETE BEFORE INSTALLATION OF SUSPENSION SYSTEM.  
 PATTERN AND TEXTURE TO MATCH EXISTING ADJACENT CEILING PANELS IN ROOM.  
 REMOVE AND REPLACE STAINED, CRACKED OR OTHERWISE DAMAGED TILES IN EXISTING ROOM AT THE DIRECTION OF THE ARCHITECT OR OWNER'S REPRESENTATIVE.

09 681 FLOOR PREPARATION FOR CARPET INSTALLATION SHALL INCLUDE REMOVING PAINT, SEALER, GREASE, OIL AND OTHER MATERIALS INCOMPATIBLE WITH CARPET ADHESIVE.  
 PATCH HOLES, CRACKS AND IRREGULARITIES WITH FLOOR PATCHING COMPOUND TO PROVIDE A SMOOTH, LEVEL SURFACE.  
 24 HOURS BEFORE PREPARATION IS COMPLETED, ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED AND AN INSPECTION SHALL BE ARRANGED TO VERIFY QUALITY OF FINISHED SURFACES PRIOR TO CARPET INSTALLATION.

09 687 SHEET CARPET, DIRECT GLUE DOWN SHALL BE A LOOP PILE WITH POLYPROPYLENE PRIMARY BACKING AND UNITARY SECONDARY BACKING.  
 PILE WEIGHT: 28 OZ.  
 PILE HEIGHT: 7/32" (0.219")  
 CARPET: 100% NYLON COMMERCIAL CARPET WITH FULL TEN-YEAR LIMITED WARRANTY.  
 NOTIFY ARCHITECT IN WRITING IF BASE IS NOT ACCEPTABLE. DO NOT LAY CARPET OVER UNSUITABLE SURFACE.  
 ADHESIVE SHALL BE MULTI-PURPOSE ADHESIVE #251 BY W.W. HENRY CO.  
 CARPET BARS SHALL BE DELUXE PINLESS BY ROBERTS  
 SALVAGE OF USABLE PIECES OF CARPET LEFT OVER FROM INSTALLATION ARE PROPERTY OF OWNER. ROLL NEATLY AND STORE AS DIRECTED BY OWNER'S REPRESENTATIVE. REMOVE SCRAP AND TRIMMINGS FROM SITE.

09 901 PAINTING INCLUDES PREPARING, PRIMING AND PAINTING NEW INTERIOR SURFACES AS DESCRIBED IN CONTRACT DOCUMENTS.  
 LATEX PRIMER/SEALER: 17% MINIMUM PIGMENT BY WEIGHT  
 SEMI-GLOSS FINISH COATS: 100% PURE ACRYLIC LATEX ENAMEL WITH 23% MINIMUM PIGMENT BY WEIGHT  
 MANUFACTURERS: "AMERITONE" W2200 SERIES OR ARCHITECT ACCEPTED SUBSTITUTION  
 APPLICATION WITH SPRAY GUN IS NOT PERMITTED

15 MECHANICAL

1. INSTALL NEW DIFFUSERS, REGISTERS AND DUCTWORK TO PROVIDE FOR REVISED FACILITIES. WORK SHALL BE COMPLETE INCLUDING CUTTING, PATCHING, FEES, PERMITS AND INSPECTIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ISSUES OF U.B.C., U.M.C., STATE SAFETY ORDERS AND TITLE 24 OF THE STATE ADMINISTRATIVE CODE.
3. CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
4. THESE DRAWINGS HAVE BEEN PREPARED FROM THE LATEST INFORMATION AVAILABLE BUT MINOR VARIATIONS MAY OCCUR IN THE ACTUAL CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCING THE WORK AFFECTED.
5. COORDINATE ALL MECHANICAL WORK WITH OTHER TRADES. ANY AND ALL CONFLICTS SHALL BE RESOLVED PRIOR TO START OF INSTALLATION.
6. GALVANIZED SHEET METAL DUCTWORK SHALL BE FABRICATED IN FULL ACCORDANCE WITH THE LATEST SMAGNA LOW PRESSURE DUCT CONSTRUCTION STANDARDS.
7. ALL JOINTS SHALL BE TAPED AND SEALED WITH 6 OZ. CANVAS STRIPS AND ARABOL ADHESIVE OR HIGH VELOCITY DUCT SEALER.
8. ALL BRANCH DUCTS SHALL BE SUPPLIED WITH MANUAL VOLUME DAMPERS.
9. FLEXIBLE DUCT SHALL BE "GLASFLEX" SL131 (U.L. 181, CLASS 1) OR ARCHITECT ACCEPTED SUBSTITUTE.
10. SUPPLY DUCTWORK SHALL BE INSULATED WITH 1" THICK (MINIMUM) PG SUPERFINE DUCTWRAP (1 LB. DENSITY) WITH FOIL-SCRIM KRAFT VAPOR BARRIER FACING.
11. MECHANICAL CONTRACTOR SHALL GUARANTEE ALL OF HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.

16 ELECTRICAL

16 601 BASIC ELECTRICAL REQUIREMENTS

1. DESCRIPTION. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE THE ELECTRICAL WORK SHOWN ON THE DRAWINGS AND TO PROVIDE A COMPLETE, WORKING INSTALLATION.
2. LISTINGS AND CODES. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BE LISTED BY U.L. AND BEAR THEIR LABEL. IN ADDITION, THE MATERIALS, EQUIPMENT AND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS, WHERE APPLICABLE, OF THE LATEST EDITION OF THE FOLLOWING:

- a) NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
- b) NATIONAL FIRE PROTECTION AGENCY (NFPA)
- c) AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)
- d) CALIFORNIA CODE OF REGULATION, TITLE 24
- e) NATIONAL ELECTRICAL CODE (NEC)
- f) ALL STATE AND LOCAL CODES HAVING JURISDICTION

3. TESTING AND ADJUSTMENT. UPON COMPLETION OF ELECTRICAL WORK, ADJUST AND TEST CIRCUITS, LIGHTS AND OTHER ELECTRICAL ITEMS TO INSURE PROPER OPERATION OF ALL ELECTRICAL EQUIPMENT.

4. LAYOUT AND INSTALLATION. THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE PREFERRED LOCATIONS OF OUTLETS AND EQUIPMENT, AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. IT IS NOT WITHIN THE SCOPE OF THE DRAWINGS TO SHOW ALL BENDS, OFFSETS, PULLBOXES AND OBSTRUCTIONS AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE SUCH IN THE BID. THE DRAWINGS ARE NOT INTENDED TO BE SCALED AND THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DIMENSIONS AND LIMITATIONS OF THE BUILDING STRUCTURE, AND TO THE MECHANICAL DRAWINGS FOR THE LOCATION OF EQUIPMENT REQUIRING ELECTRICAL SERVICE AND CONNECTIONS.

16 100 GENERAL MATERIALS FOR ELECTRICAL WORK

1. CONDUITS AND RACEWAYS SHALL CONFORM TO U.L. STANDARDS.  
 ELECTRICAL METALLIC TUBING (E.M.T.) MAY BE USED IN DRY LOCATIONS ONLY.  
 RIGID GALVANIZED STEEL CONDUIT (R.G.S.) SHALL BE STEEL, GALVANIZED OR ZINC COATED FULL WEIGHT

2. FITTINGS SHALL CONFORM TO THE FOLLOWING:

EMT FITTINGS SHALL BE WRENCH TIGHTENED COMPRESSION TYPE WHICH SHALL PROVIDE PULL-ON FORCE RESISTANCE AND ELECTRICAL CONTINUITY AS REQUIRED BY U.L. NO INDENTING FITTINGS OR ADJUSTABLE SET SCREW TYPE FITTINGS SHALL BE USED.

RIGID FITTINGS SHALL BE STEEL THREADED FITTINGS ONLY. SPLIT AND "SET--SCREW" TYPE FITTINGS ARE NOT ACCEPTABLE.

FLEXIBLE METALLIC FITTINGS SHALL BE OF THE "SQUEEZE" TYPE WITH EITHER ONE (1) OR TWO (2) SCREWS, CAST OR MALLEABLE STEEL, CADMIUM OR ZINC COATED.

3. CONDUCTORS SHALL BE COPPER. WIRE SIZES #10 AND SMALLER SHALL BE SOLID CONDUCTOR. INSULATION FOR WIRING SHALL BE 90 VOLT TYPE "THHN", 75 C RATED FOR DRY OR WET LOCATIONS, OR TYPE "THHN", 90 C FOR DRY LOCATIONS ONLY.

CONDUCTOR SIZES SHALL BE AS INDICATED. WHERE SIZES ARE NOT INDICATED, THEY SHALL BE AS REQUIRED BY CODE. THE GREEN GROUND WIRE SHALL RUN CONTINUOUS FROM PANEL TO LAST OUTLET. THIS WIRE SHALL BE PIGTAILED IN EACH OUTLET FOR CONNECTION TO BOX AND DEVICE SO THAT IF THE DEVICE IS REMOVED, THE GROUND WILL NOT BE INTERRUPTED.

4. OUTLET BOXES SHALL BE SIZED FOR THE NUMBER AND SIZE OF CONDUCTORS AND CONDUITS ENTERING THE BOX AND EQUIPPED WITH PLASTER OR EXTENSION RINGS WHERE REQUIRED. ALL BOXES SHALL BE LABELED TO INDICATE PANEL AND CIRCUIT NUMBER OF CONDUCTORS CONTAINED WITHIN. (1) NO CASE SHALL ANY BOX BE LESS THAN 4 INCHES ROUND OR SQUARE. UNLESS NOTED OTHERWISE, OUTLET BOXES FOR CONCEALED WORK SHALL BE GALVANIZED OR SHERARDIZED, ONE PIECE, PRESSED STEEL WITH KNOCKOUTS AS REQUIRED.

5. SWITCHES SHALL BE SPECIFICATION GRADE, SINGLE POLE, OR 3-WAY TOGGLE TYPE AS INDICATED, 20 AMPERE, 120/277 VOLT A.C. RATING FOR FULL CAPACITY OF CONTACTS FOR LAMP LOADS.

6. RECEPTACLES SHALL BE RATED 20 AMPERE, 125 VOLT A.C., 3 WIRE GROUNDING TYPE PER NEMA 5-20R. A BONDING JUMPER SHALL BE PROVIDED FOR GROUND BETWEEN THE GROUNDED OUTLET BOX AND THE RECEPTACLE GROUND TERMINAL. GROUNDING THROUGH THE RECEPTACLE MOUNTING STRAPS IS NOT ACCEPTABLE.

7. PLATES SHALL BE PROVIDED FOR EVERY SWITCH, RECEPTACLE, AND TELEPHONE/DATA OUTLET. PLATES SHALL BE IVORY COLORED SMOOTH NYLON OR PHENOLIC PLASTIC.

8. LIGHT FIXTURES SHALL BE FURNISHED WITH ALL NECESSARY COMPONENTS SHOWN ON THE PLANS.

BALLASTS FOR FLUORESCENT FIXTURES SHALL BE HIGH POWER FACTOR, ENERGY SAVING TYPE, COMPATIBLE WITH LAMPS AND THEIR DESIGN.

FLUORESCENT LAMPS SHALL BE ENERGY SAVING, COOL WHITE AND OF LENGTH AND WATTAGE TO FIT THE FIXTURE IN WHICH USED.

LIGHTING FIXTURE DIFFUSERS SHALL BE 100% PURE VIRGIN ACRYLIC, MINIMUM 0.125 INCHES THICK.

16 105 INSTALLATION OF ELECTRICAL WORK

1. CONDUIT SHALL BE CONCEALED WITHIN FINISHED WALLS, CEILINGS OR UNDERIN FLOORS. CONDUITS SHALL BE SIZED IN ACCORDANCE WITH FILL CAPACITIES SET FORTH IN NEC ARTICLE 348. ALL CONDUIT RUNS SHALL BE INSTALLED TO AVOID TRAPPED CONDENSATION.

2. ELECTRICAL METALLIC CONDUIT (EMT) MAY NOT BE EMBEDDED IN CONCRETE OR BELOW GRADE.

3. RIGID GALVANIZED STEEL CONDUIT SHALL BE USED IN MECHANICAL ROOMS, WHERE CONDUIT PASSES THROUGH CONCRETE SLABS ON GRADE AND WHERE SUBJECT TO PHYSICAL DAMAGE.

4. CONDUIT SUPPORTS SHALL BE PROVIDED FOR ALL ABOVE GROUND SYSTEMS. CONDUIT SHALL BE SECURELY SUPPORTED AND FASTENED WITHIN 3 FEET OF ANY TERMINATION POINT AND EVERY 10 FEET ALONG THE LENGTH OF THE RUN.

5. CONDUCTORS AND TERMINATIONS. WIRE AND CABLE SHALL BE CONTINUOUS FROM OUTLET TO OUTLET, WITH SPLICES ONLY IN JUNCTION BOXES, EQUIPMENT OR OTHER APPROVED LOCATIONS.

6. WALL OUTLETS SHALL NOT BE WIRED BACK-TO-BACK. BOXES ON OPPOSITE SIDES OF A COMMON WALL SHALL BE SEPARATED BY A SPACE OF AT LEAST 16 INCHES.

7. FLUORESCENT FIXTURES SHALL NOT BE USED AS A RACEWAY FOR BRANCH CIRCUIT CONDUCTORS EXCEPT WHERE INSTALLED END TO END TO FORM A CONTINUOUS ASSEMBLY.

SUPPORT FOR RECESSED MOUNTED FIXTURES IN SUSPENDED "T-BAR" TYPE CEILINGS SHALL BE FROM THE STRUCTURE ABOVE WITH A #10 AWG WIRE AT EACH OF FOUR (4) CORNERS. SUPPORT WIRES SHALL ONLY BE TIGHTENED ENOUGH TO ALLOW FIXTURE TO BE FULLY SEATED IN GRID.

8. GROUNDING SHALL BE IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRIC CODE.

Architect

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Proposed Remodel for:  
**Fontana City Hall**  
 8353 Sierra Avenue, Fontana, CA 92335

DATE	4 Oct. 1996	8 NOV. 1996
PROJECT	96-164	20 NOV. 1996

General Notes

G-2